

MINUTES

FORT BEND COUNTY LEVEE IMPROVEMENT DISTRICT NO. 15

September 25, 2018

The Board of Directors ("Board") of Fort Bend County Levee Improvement District No. 15 ("District") met in regular session, open to the public, on September 25, 2018, at The Muller Law Group, PLLC, 202 Century Square Boulevard, Sugar Land, Texas 77478, outside the boundaries of the District, and the roll was called of the members of the Board:

Darrell Groves	President
Rohit Sankholkar	Secretary
Girish Misra	Vice President/Assistant Secretary

and all of the above were present, thus constituting a quorum.

Also present at the meeting were: Guillermo Salcedo of the City of Sugar Land; Trey Reichert of Johnson Development; Chris Hill of 180 Messaging, Inc.; John Schnure of TBG Partners ("TBG"); Brad Koehl of Yellowstone Landscape, Inc. ("Yellowstone"); Julie Kveton and Jaime Villegas of Riverstone Homeowners Association, Inc. ("HOA"); James Thompson, Jeff Perry, and Ross Autrey of Levee Management Services, LLC ("LMS"); Kristy Hebert of Tax Tech, Inc.; Chad Hablinski of Costello, Inc. ("Costello"); Pamela Lightbody of AVANTA Services; and Nancy Carter and Keely Campbell of The Muller Law Group, PLLC.

PUBLIC COMMENTS

There were no public comments.

MINUTES

The Board considered approving the minutes of the August 17 and August 28, 2018, Board meetings. After review and discussion, Director Groves moved to approve the minutes as submitted. Director Misra seconded the motion, which passed unanimously.

PUBLIC HEARING REGARDING ADOPTION OF TAX RATE, ORDER LEVYING TAXES, AND AMENDED AND RESTATED INFORMATION FORM

Ms. Hebert stated Tax Tech had published a Notice of Public Hearing in the Fort Bend Herald regarding the District's proposed 2018 tax rate of \$0.64 tax rate per \$100 of assessed valuation.

Director Groves opened the public hearing. No members of the public came forward to make comments. Director Groves closed the public hearing.

The Board discussed the proposed maintenance tax rate and projected operating fund needs, including emergency reserve funds. The Board considered adopting an Order Levying Taxes reflecting a tax rate of \$0.62 per \$100 assessed valuation, consisting of \$0.50 per \$100 of assessed valuation for debt service and \$0.12 per \$100 of assessed valuation to provide for the District's operations and maintenance. Ms. Carter then reviewed an Amended and Restated Information Form reflecting the adopted tax rate. After review and discussion, Director Misra moved to adopt the Order

Levying Taxes as presented and authorize the execution of the Amended and Restated Information Form. Director Sankholkar seconded the motion, which passed unanimously.

TAX ASSESSOR/COLLECTOR'S REPORT

Ms. Hebert presented the tax assessor/collector's report, a copy of which is attached. She said that 99.63% of the District's 2017 taxes have been collected to date. After review and discussion, Director Sankholkar moved to approve the tax assessor/collector's report and payment of the bills listed in the report. Director Misra seconded the motion, which passed unanimously.

FINANCIAL AND BOOKKEEPING MATTERS

Ms. Lightbody presented the bookkeeper's report, including the list of bills for payment, a copy of which is attached. She noted that Fort Bend County Levee Improvement District No. 19 ("LID 19") will be reimbursing the District for 50% of the total design fees paid to Costello, Inc., for interconnects. Ms. Lightbody noted that she received a check from the HOA reimbursing the District for its zipline insurance premium. She explained that Witt O'Brien's submitted incorrect invoices and is working on correcting them for re-submittal. After review and discussion, Director Groves moved to approve the bookkeeper's report and payment of the bills listed in the report. Director Misra seconded the motion, which passed unanimously.

BUDGET FOR FISCAL YEAR ENDING SEPTEMBER 30, 2019

Ms. Lightbody presented the budget for the fiscal year ending September 30, 2019, a copy of which is included in the bookkeeper's report. She reviewed the changes to the budget that were discussed at the prior Board meeting. After review and discussion, Director Sankholkar moved to adopt the budget, subject to revisions regarding the decreased maintenance tax rate, the addition of \$75,000 for the first phase of vehicular access improvements, and the addition of \$81,000 for the District's estimated portion of the proposed 2D modeling for regional drainage improvements. Director Misra seconded the motion, which passed unanimously.

RENEWAL OF INSURANCE POLICIES

The Board reviewed a proposal from Harco Insurance for comparison to the renewed proposal from McDonald Wessendorff approved at the prior Board meeting. No Board action was taken.

DEVELOPER'S REPORT

Mr. Reichert presented a report, a copy of which is attached, on the status of development in Riverstone.

LANDSCAPE ARCHITECT'S REPORT

Mr. Schnure presented the landscape architect's report, a copy of which is attached. He reported on the status of the sitework, landscaping, and irrigation of Avalon at Riverstone, Section 14. Mr. Schnure reported that Earth First Commercial Landscape Services ("Earth First") was the lowest bidder for this project; however, Earth First is currently working on two projects in the District and may not be best suited to handle this project. He recommended that the Board award the contract to

the next lowest bidder, Classic Irrigation and Landscape, in the amount of \$720,072, with the District's portion being \$290,590 for the public sidewalks and landscaping. After review and discussion, and based on the landscape architect's recommendation, Director Groves moved to: 1) award the contract to Classic Irrigation and Landscape, the contractor whose bid, in the opinion of the Board, will result in the best and most economical completion of the project, subject to receipt of the appropriate bonds, certificate of insurance, and 1295; and 2) authorize the execution of a Letter Financing Agreement with Taylor Morrison for the project. Director Sankholkar seconded the motion, which passed unanimously.

U.S. ARMY CORPS OF ENGINEERS PERMIT COMPLIANCE

Mr. Schnure reported that the irrigation necessary for maintenance of the wetlands, which includes boring a sleeve for access to the wetlands, was completed in the amount of \$2,830.42.

Ms. Carter added that the District will wait for planting recommendations from Berg Oliver to plant the last wetlands project in the fall.

MOWING AND WETLANDS MAINTENANCE

Mr. Koehl presented and reviewed the mowing report, a copy of which is attached. He reported that Yellowstone is preparing for fall fertilization and rye over-seeding. Mr. Koehl added that Yellowstone mowed the saplings surrounding Steep Bank Creek, as requested by the District. He advised that Yellowstone has received calls from residents concerned about what appears to be dead trees on the wetland shelf. Mr. Koehl stated that Berg Oliver explained that the bulrush has a fungus, which may rectify itself with the upcoming cooler weather.

SERVICE AGREEMENT FOR MOSQUITO SPRAYING

The Board considered approving a Service Agreement with BugCo for mosquito spraying the District's streets and detention areas in the amount of \$400 per spray, with a current recommend frequency of three times per week, which can be decreased over time as necessary. After review and discussion, Director Groves moved to approve the Service Agreement with BugCo, reflecting mosquito spraying three times per week at \$400 per spray. Director Sankholkar seconded the motion, which carried unanimously. Director Groves requested that the Board monitor and review spraying frequency each month.

OPERATION OF DISTRICT FACILITIES

Mr. Perry presented the operator's report, a copy of which is attached, and reviewed repairs and maintenance performed since the last regular Board meeting. He noted that staff gauges have been installed at all internal and external outfall structures of the District.

PENDING FEDERAL REIMBURSEMENT CLAIMS

There was no discussion on this agenda item.

HOG FENCING PROPOSAL

Discussion ensued regarding the increased hog activity in the area, damaging landscaping throughout the Riverstone community. Ms. Carter noted that it is appropriate for the District to protect the levee and its wetland investments from hog damage. Mr. Perry stated that hog fencing has been successful in areas surrounding the District and recommended authorization to advertise for bids for the installation of hog fencing in several locations within the District. After review and discussion and based on the operator's recommendation, Director Sankholkar moved to authorize LMS to advertise for bids for the installation of hog fencing in recommended locations within the District. Director Groves seconded the motion, which passed unanimously.

EMERGENCY OPERATIONS PROJECTS

AUTOMATED GAUGES

Mr. Thompson reported that Remote Monitoring Systems, LLC ("RMS"), is currently installing automated gauges for data collection in Sienna Plantation, which should be complete in 30 to 60 days. He recommended that this agenda item be tabled until after the automated gauges have been installed so that LMS may present a demonstration of the automated gauges' capabilities to the Board.

EMERGENCY OPERATIONS CENTER

Ms. Carter reported that the funds for design and construction of an emergency operations center are included in the current bond application. The Board concurred to hold further action to design the project until bond proceeds are available.

EMERGENCY NOTIFICATION SIGNAGE

The Board discussed emergency notification signage and concurred not to fund such project at this time.

VEHICULAR ACCESS IMPROVEMENTS

Ms. Carter reported that the funds for design and construction of a hard-top surface for the levee are not included in the current bond application and that LMS and Costello previously recommended that the project could be completed in phases. Mr. Perry stated that he would provide pricing options for the design and construction of a hard-top surface for the levee by the next Board meeting.

SUPPLEMENTAL PUMPS TO SERVE ALCORN BAYOU AND SNAKE SLOUGH

The Board tabled this agenda item until February 2019.

REGIONAL DRAINAGE PROJECTS AND CAPITAL IMPROVEMENTS

FINANCING PLAN FOR PROPOSED PROJECTS

There was no discussion on this agenda item.

STEEP BANK CREEK PUMP STATION SHARED PROJECTS

There was no discussion on this agenda item.

REGIONAL STEEP BANK CREEK WATERSHED PROJECT

Ms. Carter reported that she attended the regular September Board meetings of First Colony Levee Improvement District of Fort Bend County, Texas ("First Colony LID") and Fort Bend County Municipal Utility District No. 115 ("MUD 115"). She added that there is a general concurrence among the District, LID 19, First Colony LID, and MUD 115 to participate in and cost-share a 2D modeling study of the region, based on each District's percentage of acreage in the watershed; however, details regarding specific modeling software were still under discussion by the District engineer and the proposed modeling engineer.

WATERSHED INTERCONNECTS

Mr. Hablinski reported that he expects to receive bids for the Hagerson Road Interconnect before next month's regular Board meeting.

PRESTWICK DRAINAGE IMPROVEMENTS

Ms. Carter reported that the District's surplus funds application associated with this project is awaiting approval from the Texas Commission on Environmental Quality.

OTHER ENGINEERING MATTERS

Mr. Hablinski presented and reviewed the engineer's report, a copy of which is attached.

Mr. Hablinski reported that Fort Bend County has provided a punch list that will include additional heads to the mast arms for the signal at the intersection of Cabrera Drive and University Boulevard, as well as additional sidewalks to comply with the Americans with Disabilities Act. He stated that a change order for these additional items should be received by next month's Board meeting.

Mr. Hablinski presented and reviewed a proposal in the amount of \$5,000 from Crostex Construction, Inc., for a directional bore for the irrigation line under Alcorn Bayou. He reported that Costello and Berg Oliver are working together to inspect the wetlands park to determine if the area is ready to receive plant material. Mr. Hablinski stated that minor re-grading work may be necessary and that planting would not occur until the fall.

Mr. Hablinski presented Costello's Recommendation of Award for the detention ponds at the Hagerson Road tract, a copy of which is included in the engineer's report, noting that 13 bids were received. He said Costello recommends award to the lowest bidder, Sonora Construction, in the amount of \$882,828.

After review and discussion, and based on the engineer's recommendation, Director Groves moved to 1) approve the engineer's report; 2) approve the proposal from Crostex Construction in the amount of \$5,000; 3) award the contract for Avalon, Section 14 to Sonora Construction, the contractor whose bid, in the opinion of the Board, will result in the best and most economical completion of the project; 4) authorize the Board President to execute the contract with Sonora Construction, pending receipt of the appropriate Form 1295's, bonds, and insurance certificate; and 5) authorize the execution of a Letter Financing Agreement with Taylor Morrison of Texas, Inc., for Avalon, Section 14. Director Sankholkar seconded the motion, which passed unanimously.

BOND APPLICATION

Mr. Hablinski presented the current version of the Bond Application Report for Bond Issuance No. 14, a copy of which is attached, for review by the Board and the District's consultants. He stated that this bond application, in the amount of \$8,925,000, does not include the Clements Crossing area or the regional drainage improvements.

EMERGENCY ACTION PLAN

Mr. Hablinski reported that the segregation of the Emergency Action Plan between the District and LID 19 should be complete by the end of September.

COMMUNICATIONS MATTERS

Mr. Hill reported that the District's Facebook account is now active. He discussed adding approved items from the Board meeting to the District's Facebook page. Mr. Hill also stated that he would market the page to target all residents within five miles of the District.

FORT BEND COUNTY FLOOD MANAGEMENT ASSOCIATION ("FBFMA") AND PERIMETER LEVEE MATTERS

Ms. Carter reported that a perimeter levee tour has been scheduled for October 5, 2018, and the next perimeter levee meeting will be January 8, 2019. She added that FBFMA will hold a seminar on October 26, 2018.

NOVEMBER 2018 DIRECTORS ELECTION

Ms. Carter stated that only three candidate applications were received, one each from Precincts 2, 4, and 5, with no candidates for Precincts 1 and 3. She presented an Order Cancelling Election Measure and Declaring Unopposed Candidates Elected to Office ("Order") and Notice of Cancellation of Election Measure ("Notice"), which keeps the measure on whether directors should be elected rather than appointed but cancels the measure on the election of directors from each Precinct because there are no opposed candidates. After review and discussion, Director Misra moved to adopt the Order and authorize posting of the Notice in accordance with the Texas Election Code. Director Groves seconded the motion, which passed unanimously.


LIST OF ATTACHMENTS TO MINUTES

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Any documents referenced in these minutes and not attached herein are retained in the District's official records in accordance with the District's Record Management Program and are available upon request.

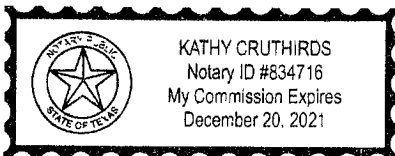

FORT BEND LEVEE IMPROVEMENT DISTRICT #15
STATE OF TEXAS
COUNTY OF FORT BEND

ESTHER BUENTELLO FLORES, BEING DULY SWORN, SAYS SHE IS THE TAX ASSESSOR COLLECTOR FOR THE ABOVE NAMED DISTRICT AND THAT THE FOREGOING CONTAINS A TRUE AND CORRECT REPORT ACCOUNTING FOR ALL THE TAXES COLLECTED FOR SAID DISTRICT DURING THE MONTH HEREIN STATED.



ESTHER BUENTELLO FLORES, RTA

SWORN TO AND SUBSCRIBED BEFORE ME, THIS 1ST, DAY OF SEPTEMBER 2018.



KATHY CRUTHIRDS
NOTARY PUBLIC, STATE OF TEXAS
MY COMMISSION EXPIRES 12/20/2021

SUBMITTED TO DISTRICT'S LEGAL COUNSEL _____

**FORT BEND COUNTY LEVEE IMPROVEMENT DISTRICT # 15
MONTHLY TAX REPORT - ENDING: 08/31/2018**

**TAX REPORT
CONDENSED SUMMARY**

BASE TAX COLLECTIONS

Prior Years	0.00
Current Year	23,941.53

Total Tax Collected	23,941.53
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OTHER INCOME

Penalty & Interest	2,170.83
DTAF Penalty	2,756.39
Overpayments	51.24
Rendition Penalty	0.00
Returned Check Fee	(24.59)
Earned Interest	6.81

Total Other Income	4,960.68
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TOTAL INCOME:	28,902.21
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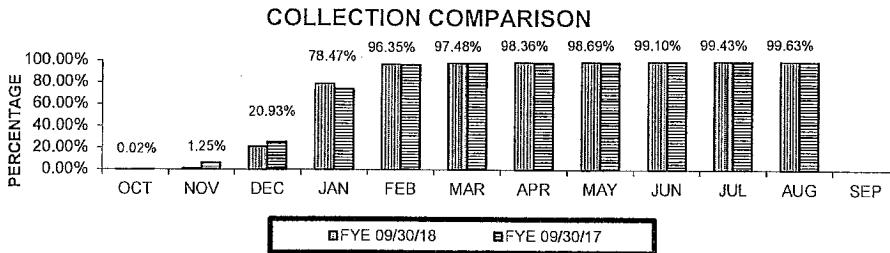
Transfers to Bond Fund	0.00
Transfers to Road Bond Funds	0.00
Transfers to Operating Fund	0.00
Transfers to Oper Fund-Rollback	0.00
Transfers to Bond Fund-Rollback	0.00
Transfers to Road Bond-Rollback	0.00

Disbursements Presented:	7 CHECK(S)	30,386.24
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Current - Collection Rate:	99.63%
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Last Year Collection Rate:	99.70%
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Tax Tech, Incorporated - Trusted Since 1986



ESTHER BUENTELLO FLORES, R.T.A. - E-mail: ebflores@taxtech.net
 Telephone: 281.499.1223 Fax: 281.499.1244 www.taxtech.net
TAX TECH, INCORPORATED
 12841 CAPRICORN STREET
 STAFFORD, TX 77477

FORT BEND COUNTY LEVEE IMPROVEMENT DISTRICT # 15 - ENDING: 08/31/2018

PRIOR YEARS TAXES

Receivable at 09/30/17	\$63,941.66	
Reserve for Uncollectibles	0.00	
Adjustments since 09/30/17	(9,828.97)	
Adjustments this month		
2016 FBCAD KR#23	109.50	
2015 FBCAD KR#34	280.34	
2014 FBCAD KR#47	80.00	
2013 FBCAD KR#62	0.00	
TOTAL PRIOR YEARS RECEIVABLE		\$54,582.53
Collected since 09/30/17	(17,049.00)	
Collected this month	0.00	
TOTAL COLLECTED SINCE 09/30/17		(17,049.00)
TOTAL RECEIVABLE - PRIOR YEARS		\$37,533.53

2017 TAXES

Receivable at 09/30/17	11,444,935.15	
Adjustments since 09/30/17	641,786.11	
Adjustments this month		
2017 FBCAD KR#09	172.50	
TOTAL 2017 RECEIVABLE		12,086,893.76
Collected since 09/30/17	(12,018,009.19)	
Collected this month	(23,941.53)	
TOTAL COLLECTED - 2017		(12,041,950.72)
TOTAL RECEIVABLE - 2017		44,943.04
TOTAL TAXES RECEIVABLE - ALL YEARS		<u>\$82,476.57</u>

FORT BEND COUNTY LEVEE IMPROVEMENT DISTRICT # 15 - ENDING: 08/31/2018

HISTORICAL INFORMATION

TAXABLE VALUE INFORMATION				TAX RATE INFORMATION			Total Tax Rate	Tax Year	
Tax Year	Original Certified Value	Adjustments to Certified Value	Adjusted Assessed Value	Special Notes	Road Debt Service Tax Rate	Interest & Sinking Tax Rate	Maintenance & Operations Tax Rate	Total Tax Rate	Tax Year
2018	1,918,249,208	0	1,918,249,208	PROJ VALUE \$1,929,339,408	0.00000	0.00000	0.000	0.000	2018
2017	1,658,686,335	93,037,477	1,751,723,812		0.13500	0.41500	0.140	0.690	2017
2016	1,359,343,954	105,401,677	1,464,745,631		0.08000	0.56000	0.090	0.730	2016
2015	1,028,500,379	73,707,109	1,102,207,488		0.22339	0.45661	0.070	0.750	2015
2014	616,068,791	72,111,936	688,180,727		0.24885	0.32115	0.230	0.800	2014
2013	435,783,326	21,274,087	457,057,413		0.23803	0.41197	0.150	0.800	2013
2012	325,375,912	19,060,393	344,436,305		0.1500	0.500	0.150	0.800	2012
2011	304,838,434	6,214,237	311,052,671		0.000	0.650	0.150	0.800	2011
2010	243,164,582	34,326,922	277,491,504		0.000	0.694	0.106	0.800	2010
2009	222,074,900	15,267,350	237,342,250		0.000	0.600	0.100	0.700	2009
2008	178,341,096	(22,000)	178,319,096		0.000	0.600	0.100	0.700	2008
2007	118,371,430	13,880,240	132,251,670		0.000	0.430	0.270	0.700	2007
2006	45,785,110	30,008,756	75,793,866		0.000	0.000	0.700	0.700	2006
2005	8,382,790	612,500	8,995,290		0.000	0.000	0.700	0.700	2005
2004	1,927,010	0	1,927,010		0.000	0.000	0.600	0.600	2004

TAXABLE LEVY INFORMATION				BASE TAX RECEIVABLES				Tax Year	
Tax Year	Total Original Levy	Total Adjustments to Levy	Total Adjusted Levy	Total Base Tax Collected	Balance	Reserve for Uncollectible	Total Base Tax Receivable	Total Percent Collected	Tax Year
2017	11,444,935.15	641,958.52	12,086,893.67	(12,041,950.63)	44,943.04	0.00	44,943.04	99.63%	2017
2016	9,923,210.08	769,432.27	10,692,642.35	(10,677,494.92)	15,147.43	0.00	15,147.43	99.86%	2016
2015	7,713,753.34	552,803.39	8,266,556.73	(8,259,054.23)	7,502.50	0.00	7,502.50	99.91%	2015
2014	4,928,550.34	576,895.48	5,505,445.82	(5,500,517.66)	4,928.16	0.00	4,928.16	99.91%	2014
2013	3,486,266.61	170,192.70	3,656,459.31	(3,651,338.99)	5,120.32	0.00	5,120.32	99.86%	2013
2012	2,603,007.31	152,483.15	2,755,490.46	(2,750,655.34)	4,835.12	0.00	4,835.12	99.82%	2012
2011	2,438,707.47	49,713.90	2,488,421.37	(2,488,421.37)	0.00	0.00	0.00	100.00%	2011
2010	1,945,316.66	274,615.38	2,219,932.04	(2,219,932.04)	0.00	0.00	0.00	100.00%	2010
2009	1,554,524.30	106,871.45	1,661,395.75	(1,661,395.75)	0.00	0.00	0.00	100.00%	2009
2008	1,248,387.67	(154.00)	1,248,233.67	(1,248,233.67)	0.00	0.00	0.00	100.00%	2008
2007	828,600.01	97,161.68	925,761.69	(925,761.69)	0.00	0.00	0.00	100.00%	2007
2006	320,495.77	210,061.29	530,557.06	(530,557.06)	0.00	0.00	0.00	100.00%	2006
2005	58,679.53	4,287.50	62,967.03	(62,967.03)	0.00	0.00	0.00	100.00%	2005
2004	11,562.06	0.00	11,562.06	(11,562.06)	0.00	0.00	0.00	100.00%	2004
					82,476.57	0.00	82,476.57	(ALL YEARS)	

MAINTENANCE TAX LEVY				M & O RECEIVABLES				Tax Year		
Tax Year	Total Original M & O Levy	Total Adjustments to M & O Levy	Total M & O Levy	M & O Collected	Balance	Tax Administration Budget	Reserve for M & O Uncollectible	Total M & O Receivable	Total Percent Collected	Tax Year
2017	2,322,160.76	130,252.45	2,452,413.21	(2,443,294.33)	9,118.88	0.00	0.00	9,118.88	99.63%	2017
2016	1,223,409.46	94,861.51	1,318,270.97	(1,316,403.48)	1,867.49	0.00	0.00	1,867.49	99.86%	2016
2015	719,950.31	51,594.98	771,545.29	(770,845.06)	700.23	0.00	0.00	700.23	99.91%	2015
2014	1,416,958.22	165,857.45	1,582,815.67	(1,581,398.83)	1,416.85	0.00	0.00	1,416.85	99.91%	2014
2013	653,674.99	31,911.13	685,586.12	(684,626.06)	960.06	0.00	0.00	960.06	99.86%	2013
2012	488,063.87	28,590.59	516,654.46	(515,747.88)	906.59	0.00	0.00	906.59	99.82%	2012
2011	457,257.65	9,321.36	466,579.01	(466,579.01)	0.00	0.00	0.00	0.00	100.00%	2011
2010	257,754.46	36,386.54	294,141.00	(294,141.00)	0.00	0.00	0.00	0.00	100.00%	2010
2009	222,074.90	15,267.35	237,342.25	(237,342.25)	0.00	0.00	0.00	0.00	100.00%	2009
2008	178,341.10	(22.00)	178,319.10	(178,319.10)	0.00	0.00	0.00	0.00	100.00%	2008
2007	319,602.86	37,476.65	357,079.51	(357,079.51)	0.00	0.00	0.00	0.00	100.00%	2007
2006	320,495.77	210,061.29	530,557.06	(519,557.06)	11,000.00	(11,000.00)	0.00	0.00	100.00%	2006
2005	58,679.53	4,287.50	62,967.03	(62,967.03)	0.00	0.00	0.00	0.00	100.00%	2005
2004	11,562.06	0.00	11,562.06	(11,562.06)	0.00	0.00	0.00	0.00	100.00%	2004
					25,970.09	(11,000.00)	0.00	14,970.09	(ALL YEARS)	

ROAD DEBT SERVICE TAX LEVY				ROAD D/S RECEIVABLES				Tax Year	
Tax Year	Total Original ROAD D/S LEVY	Total Adjustments to ROAD D/S LEVY	Total ROAD D/S Levy	ROAD D/S Collected	Balance	Reserve for ROAD D/S Uncollectible	Total ROAD D/S Receivable	Total Percent Collected	Tax Year
2017	2,239,226.44	125,600.58	2,364,827.02	(2,356,033.82)	8,793.20	0.00	8,793.20	99.63%	2017
2016	1,087,475.08	84,321.34	1,171,796.42	(1,170,136.43)	1,659.99	0.00	1,659.99	99.86%	2016
2015	2,297,567.14	164,654.33	2,462,221.48	(2,459,986.83)	2,234.64	0.00	2,234.64	99.91%	2015
2014	1,533,087.19	179,450.55	1,712,537.74	(1,711,004.77)	1,532.97	0.00	1,532.97	99.91%	2014
2013	1,037,295.05	50,638.71	1,087,933.76	(1,086,410.27)	1,523.49	0.00	1,523.49	99.86%	2013
2012	488,063.87	28,590.59	516,654.46	(515,747.88)	906.59	0.00	906.59	99.82%	2012
					16,650.88	0.00	16,650.88	(ALL YEARS)	

FORT BEND COUNTY LEVEE IMPROVEMENT DISTRICT NO. 15
SUMMARY OF CASH TRANSACTIONS
FOR THE PERIOD AUGUST 1, 2018 THROUGH SEPTEMBER 25, 2018

(Unaudited)

		GENERAL FUND =====	CAPITAL PROJECTS FUND =====	DEBT SERVICE FUND - LEVEE =====	DEBT SERVICE FUND - ROAD =====
BALANCE	1-Aug-2018	\$51,624.55	\$0.00	\$0.00	\$0.00
RECEIPTS		2,216.85	0.00	0.00	0.00
DISBURSEMENTS		(536,996.16)	(103,581.15)	(6,070,810.02)	(1,382,762.50)
INVESTMENT PROCEEDS		625,000.00	350,007.15	6,070,810.02	2,126,232.24
INVESTMENT PURCHASES		(109,831.15)	0.00	0.00	(743,469.74)
TRANSFERS		0.00	0.00	0.00	0.00
BALANCE	31-Aug-2018	<u>\$32,014.09</u>	<u>\$246,426.00</u>	<u>(\$0.00)</u>	<u>\$0.00</u>
CURRENT MONTHS ACTIVITY:					
RECEIPTS		8,624.07	0.00	0.00	0.00
DISBURSEMENTS		(360,431.58)	(248,926.00)	0.00	0.00
INVESTMENT PROCEEDS		0.00	0.00	0.00	0.00
INVESTMENT PURCHASES		0.00	0.00	0.00	0.00
TRANSFERS		0.00	0.00	0.00	0.00
CURRENT CASH BALANCE		<u>(319,793.42)</u>	<u>(2,500.00)</u>	<u>(0.00)</u>	<u>0.00</u>
CURRENT INVESTMENTS		<u>2,061,922.78</u>	<u>1,699,114.26</u>	<u>7,715,754.23</u>	<u>1,669,348.88</u>
CASH BALANCES	25-Sep-2018	<u>\$1,742,129.36</u>	<u>\$1,696,614.26</u>	<u>\$7,715,754.23</u>	<u>\$1,669,348.88</u>
OPERATING RESERVE (1 YR EXPENSES)		\$1,461,936.00			
ALLOCATED- DESIGN - PUMP ST & I/C		\$140,610.00			
AVAILABLE GENERAL FUNDS		\$139,583.36			
SERIES 2013 ROADS: HOLD FOR SIGNAL @ CABRERA PROJECT			\$17,927.02		
SERIES 2014 ROADS			\$142,974.14		
SERIES 2015A LEVEE:	[1]		\$210,560.76		
SERIES 2015 ROADS: ALLOCATED TO CABRERA RD CONSTR PROJECT			\$184,421.54		
SERIES 2017 LEVEE	[1]		\$330,122.69		
SERIES 2017 PARK			\$810,608.11		
[1] \$410,000 ALLOCATED TO PRESTWICK DRAINAGE IMPROVEMENTS					
DUE FUTURE LEVEE BONDS (ISSUE 14)		\$33,502.88			
DUE FUTURE LEVEE BONDS (PUMP ST, I/C)		\$182,776.73			
DUE FROM SURPLUS (PRESWICK IMPROV)		\$408,610.76			

AVANTA Services

5635 Northwest Central Drive, Suite 104E, Houston, Texas 77092

(713) 934.9110 (713) 934.9107 Fax (713) 934.9443 pelightbody@avantaserv.com

**FORT BEND COUNTY LEVEE IMPROVEMENT DISTRICT NO. 15
CASH TRANSACTIONS**

Vendor/Customer	Document Number	Date	Description	Receipts	Disbursements
FOR THE ONE MONTH ENDED AUGUST 31, 2018					
GENERAL FUND					
20 BLDR PERMIT FEES	R040	08/14/18	20 BLDR PERMIT FEES	2,000.00	-
2 BLDR PERMIT FEES	R041	08/14/18	2 BLDR PERMIT FEES	200.00	-
GROVES, DARRELL W.	1334	08/28/18	PAYROLL - 07/23, 07/24, 08/08, 08/10, 08/17, 08/	-	857.31
MISRA, GIRISH C.	1335	08/28/18	PAYROLL - 07/24, 08/17	-	290.13
SANKHOLKAR, ROHIT	1336	08/28/18	PAYROLL - 07/24, 07/25, 08/17	-	436.83
BERG-OLIVER ASSOCIATES, INC.	1337	08/28/18	ENVIRO SERVICES - THRU 7-27-18	-	1,080.47
COSTELLO, INC.	1338	08/28/18	SERVICES THRU 07/31/2018	-	75,894.12
FORT BEND CO. LID NO. 19	1339	08/28/18	SUPP PUMPS AT STEEP BANK PS	-	347,805.60
FORT BEND CO. LID NO. 19	1340	08/28/18	JTPS- 2ND QTR 2018	-	6,660.00
LAKE MANAGEMENT SERVICES, LP	1341	08/28/18	WETLAND PARK CIRC. PUMP	-	4,130.00
LEVEE MANAGEMENT SERVICES LLC	1342	08/28/18	SERVICES - AUG 2018	-	11,852.50
THE MULLER LAW GROUP, PLLC	1343	08/28/18	SERVICES THRU 08/14/2018	-	28,543.79
OFF CINCO	1344	08/28/18	WEBSITE - JUL 2018	-	528.00
STEWART TITLE	1345	08/28/18	CLEMENTS CROSSING PONDS	-	4,652.00
STORM WATER SOLUTIONS	1346	08/28/18	RIVERSTONE SWMP- 2ND QTR	-	7,898.75
YELLOWSTONE LANDSCAPE	1347	08/28/18	SERVICES - JUL 2018	-	46,357.00
BANK ACCT MAINT FEE	J171	08/15/18	BANK ACCT MAINT FEE	-	9.66
INTEREST COMPASS CK .15%	J169	08/31/18	INTEREST COMPASS CK .15%	16.85	-
GENERAL FUND TOTALS				\$2,216.85	\$536,996.16
CAPITAL PROJECTS FUND					
COSTELLO, INC.	1349	08/28/18	CPF- SW PUMP ST THRU 7-31-18	-	1,968.75
QUADVEST CONSTRUCTION	1350	08/28/18	CPF-SER17-ALCORN BAYOU PS #18 & FINAL	-	100,622.40
TBG PARTNERS	1351	08/28/18	CPF-BOND SUB SERVICE THRU 6/30/18	-	990.00
CAPITAL PROJECTS FUND TOTALS				\$0.00	\$103,581.15
DEBT SERVICE FUND - LEVEE IMPROVEMENTS					
BANK OF NEW YORK MELLON	1348	08/28/18	DSF-PAYING AGENT FEE, 5 BOND SERIES	-	3,500.00
DEBT SERVICE PAYMENTS	J189	08/29/18	PAY AGENT - WELLS FARGO	-	395,725.00
DEBT SERVICE PAYMENTS	J190	08/29/18	PAY AGENT - WELLS FARGO	-	102,000.00
DEBT SERVICE PAYMENTS	J191	08/29/18	PAY AGENT - BANK NY MELLON	-	5,569,585.02
DEBT SERVICE FUND TOTALS				\$0.00	\$6,070,810.02
DEBT SERVICE FUND - ROAD IMPROVEMENTS					
BANK OF NEW YORK MELLON	1348	08/28/18	DSF-PAYING AGENT FEE, 4 BOND SERIES	-	2,750.00
DEBT SERVICE PAYMENTS	J192	08/29/18	PAY AGENT - BANK NY MELLON	-	1,380,012.50
DEBT SERVICE FUND TOTALS				\$0.00	\$1,382,762.50

**FORT BEND COUNTY LEVEE IMPROVEMENT DISTRICT NO. 15
CASH TRANSACTIONS**

Vendor/Customer	Document Number	Date	Description	Receipts	Disbursements
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FOR THE PERIOD ENDED SEPTEMBER 25, 2018

GENERAL FUND

CAVALLO ENERGY TEXAS LLC	1352	09/04/18	6019 1/2 NOWLANDS RUN THRU 8/10/18	-	537.58
FB MUD 128	R042	09/04/18	RIVERSTONE SWMP 2ND QTR 2018	1,974.69	-
FB MUD 149	R043	09/04/18	RIVERSTONE SWMP 3RD QTR 2018	1,974.69	-
FB MUD 129	R044	09/10/18	RIVERSTONE SWMP 3RD QTR 2018	1,974.69	-
27 BLDG PERMIT FEES	R045	09/17/18	27 BLDG PERMIT FEES	2,700.00	-
GROVES, DARRELL W.	1353	09/25/18	PAYROLL - 8/28/18, 9/6/18	-	303.21
MISRA, GIRISH C.	1354	09/25/18	PAYROLL - 8/28/18	-	145.06
SANKHOLKAR, ROHIT	1355	09/25/18	PAYROLL - 8/28/18	-	149.42
180 MESSAGING	1356	09/25/18	MESSAGING - JULY TO SEPT 2018	-	6,000.00
PAMELA M. LOGSDON CPA	1357	09/25/18	SERVICES - JAN & FEB 2018	-	4,675.29
ASSOCIATION OF WATER BOARD	1358	09/25/18	2019 WINTER CONF- GROVES	-	295.00
BERG-OLIVER ASSOCIATES, INC.	1359	09/25/18	ENVIRO SERVICES - THRU	-	454.02
COSTELLO, INC.	1360	09/25/18	GENERAL- AUG, INTERCONNECTS-MAY-JULY	-	129,726.24
CYPRESS CONCEPTS	1361	09/25/18	STREET CLEANING - AUG 2018	-	3,612.00
RIVERSTONE HOA	1362	09/25/18	PARK MAINT- 3RD QTR 2018	-	112,278.75
LEVEE MANAGEMENT SERVICES LLC	1363	09/25/18	SERVICES - SEPT 2018	-	24,992.50
McDONALD & WESSENDORFF	1364	09/25/18	INSURANCE EFF 10/23/2018	-	33,162.15
THE MULLER LAW GROUP, PLLC	1365	09/25/18	SERVICES THRU 09/10/2018	-	22,011.86
OFF CINCO	1366	09/25/18	WEBSITE - AUG 2018	-	385.00
RAPID RESEARCH INC.	1367	09/25/18	TITLE WORK	-	270.00
WITT O'BRIEN'S , LLC	1368	09/25/18	FEMA REIMB SERV - AUG 2018	-	2,012.50
YELLOWSTONE LANDSCAPE	1369	09/25/18	SERVICES- AUG 2018	-	19,421.00
US TREASURY	1371		3RD QUARTER PAYROLL TAXES		
CAVALLO ENERGY TEXAS LLC	1372		NEXT MONTH UTILITY INVOICE		
DELUXE	1373		CHECK STOCK		

GENERAL FUND TOTALS

\$8,624.07 \$360,431.58

CAPITAL PROJECTS FUND

SL RANCH DEVELOPMENT LLC	WIRE	09/13/18	SERIES 2015 - ADD REIMB FOR INTEREST	-	244,938.00
SL RANCH DEVELOPMENT II CORP	WIRE	09/13/18	SERIES 2015 - ADD REIMB FOR INTEREST	-	1,488.00
MCGRATH & CO PLLC	1370	09/25/18	CPF- SER 15- AUP- ADD. REIMB	-	2,500.00

CAPITAL PROJECTS FUND TOTALS

\$0.00 \$248,926.00

DEBT SERVICE FUND - LEVEE IMPROVEMENTS

DEBT SERVICE FUND TOTALS

\$0.00 \$0.00

DEBT SERVICE FUND - ROAD IMPROVEMENTS

DEBT SERVICE FUND TOTALS

\$0.00 \$0.00

FORT BEND COUNTY LEVEE IMPROVEMENT DISTRICT NO. 15

September 25, 2018
(Unaudited)

SUMMARY OF INVESTMENTS

BANK	ACCT #	RATE	PURCHASE DATE	MATURITY DATE	AMOUNT
GENERAL FUND					
MAX INVESTMENT PERIOD -- 12 MONTHS --					
TEXSTAR	26713-1111-0	1.9225%			\$ 1,713,975.88
COMPASS BANK MMA	6729776570	0.2500%			\$ 347,946.90
TOTAL GENERAL FUND INVESTMENTS					<u>\$2,061,922.78</u>

CAPITAL PROJECTS FUND					
MAX INVESTMENT PERIOD -- 12 MONTHS --					
TEXSTAR - SER 2013 ROADS	26713-1195-0	1.9225%			\$ 17,927.02
TEXSTAR - SER 2014 ROADS	26713-1196-0	1.9225%			\$ 142,974.14
TEXSTAR - SER 2015 LEVEE	26713-1197-0	1.9225%			\$ 213,060.76
TEXSTAR - SER 2015 ROADS	26713-1198-0	1.9225%			\$ 184,421.54
TEXSTAR - SER 2017 LEVEE	26713-1200-0	1.9225%			\$ 330,122.69
TEXSTAR - SER 2017 PARKS	26713-2017-0	1.9225%			\$ 810,608.11
TOTAL CAPITAL PROJECTS FUND INVESTMENTS					<u>\$1,699,114.26</u>

DEBT SERVICE FUND					
MAX INVESTMENT PERIOD -- 12 MONTHS --					
TEXSTAR - LEVEE IMPROV	26713-1023-0	1.9225%			\$ 4,434,142.30
COMPASS BANK MMA	2530962930	1.8200%			\$ 2,795,698.05
CENTRAL BANK CD - LEVEE	66000083	2.3000%	26-Aug-18	26-Aug-19	\$ 242,000.00
INDEPENDENT BANK CD - LEV.	530548	0.0000%	27-Aug-17	27-Aug-18	\$ -
PLAINS STATE BK CD - LEVEE	4127500	2.3800%	27-Aug-18	27-Aug-19	\$ 243,913.88
TOTAL DEBT SERVICE - LEVEE					<u>\$ 7,715,754.23</u>
TEXSTAR - ROAD IMPROV.	26713-1025-0	1.9225%			\$ 1,669,348.88
TOTAL DEBT SERVICE - ROADS					<u>\$ 1,669,348.88</u>
TOTAL DEBT SERVICE FUND INVESTMENTS					<u>\$ 9,385,103.11</u>

BONDS SOLD:

SERIES 2010	\$3,975,000	Net effective rate: 5.099642%	Sale 06/28/10	Funded 07/27/10
SERIES 2012	\$7,990,000	Net effective rate: 4.478232%	Sale 02/27/12	Funded 03/27/12
SERIES 2013	\$6,000,000	Net effective rate: 3.910418%	Sale 02/25/13	Funded 03/28/13
SERIES 2013	\$6,505,000	Net effective rate: 4.699884%	Sale 07/11/13	Funded 08/15/13 - Refunding bonds
SERIES 2013A	\$11,200,000	Net effective rate: 4.811694%	Sale 07/30/13	Funded 08/27/13 (Road Bonds)
SERIES 2014	\$7,625,000	Net effective rate: 3.408636%	Sale 08/25/14	Funded 09/23/14 (Road Bonds)
SERIES 2015	\$3,975,000	Net effective rate: 3.715374%	Sale 06/22/15	Funded 07/28/15 (Road Bonds)
SERIES 2015A	\$20,250,000	Net effective rate: 3.3907940%	Sale 09/29/15	Funded 10/27/15
SERIES 2015	\$5,360,000	Net effective rate: 3.285542%	Sale 10/14/15	Funded 11/12/15 - Refunding bonds
SERIES 2016	\$4,250,000	Net effective rate: 2.911738%	Sale 08/16/16	Funded 09/14/15 - Refunding bonds (Road)
SERIES 2017	\$17,770,000	Net effective rate: 3.519298%	Sale 01/23/17	Funded 02/28/17
SERIES 2017	\$11,750,000	Net effective rate: 1.407424%	Sale 07/26/17	Funded 07/27/17 - Park Bonds
SERIES 2017	\$3,715,000	Net effective rate: 3.478967%	Sale 07/24/17	Funded 08/24/17 - Refunding bonds

PUBLIC FUNDS INVESTMENT ACT TRAINING REQUIREMENT

ACCOUNTANT - PAMELA LOGSDON

COMPLETED - MAY 2017

SCHEDULE OF DEBT SERVICE PAYMENTS

	DUE DATE	-----SEMI-ANNUAL-----		TOTAL	ANNUAL AMOUNT DUE
		PRINCIPAL	INTEREST		
FY 2018 PAID	1-Mar-2018		0.00	0.00	
FY 2018 PAID	1-Sep-2018	5,820,000.00	1,627,322.50	7,447,322.50	<u>\$7,447,322.50</u>
FY 2019	1-Mar-2019		1,581,047.51	1,581,047.51	
FY 2019	1-Sep-2019	5,885,000.00	1,581,047.51	7,466,047.51	<u>\$9,047,095.02</u>

FORT BEND COUNTY LEVEE IMPROVEMENT DISTRICT NO. 15

GENERAL FUND

STATEMENT OF REVENUES AND EXPENDITURES FOR THE ELEVEN MONTHS ENDED AUGUST 31, 2018

	--Current Period-- Actual	Year-to-Date			Annual Budget
		Actual	Budget	Variance	
REVENUES					
PROPERTY TAX REVENUE	0.00	2,439,960.04	2,395,000.00	44,960.04	2,395,000.00
INTEREST ON INVESTMENTS	3,642.36	31,074.03	13,750.00	17,324.03	15,000.00
DEVELOPER PERMIT FEES	2,200.00	17,500.00	11,000.00	6,500.00	12,000.00
MISC REVENUES	0.00	0.00	0.00	0.00	0.00
TOTAL REVENUES	5,842.36	2,488,534.07	2,419,750.00	68,784.07	2,422,000.00
EXPENDITURES					
PROFESSIONAL FEES					
AUDITING FEES	0.00	13,500.00	13,500.00	0.00	13,500.00
LEGAL - GENERAL SERVICES	19,118.75	119,067.46	110,000.00	9,067.46	120,000.00
LEGAL - CONSTRUCTION	7,210.21	21,348.96	0.00	21,348.96	0.00
LEGAL - PARK	0.00	0.00	0.00	0.00	0.00
LEGAL - OTHER	60.00	19,211.62	52,000.00	(32,788.38)	55,000.00
ENGINEERING FEES GENERAL	3,330.82	34,602.99	73,326.00	(38,723.01)	80,000.00
ENGINEERING FEES - SPECIAL PROJECT	0.00	52,956.43	27,500.00	25,456.43	30,000.00
CONTRACTED SERVICES					
ACCOUNTANT FEES	4,427.25	12,747.75	22,000.00	(9,252.25)	24,000.00
OPERATOR FEES - ROUTINE	7,645.00	86,985.00	99,000.00	(12,015.00)	108,000.00
OPERATOR FEES - SPECIAL PROJECTS	1,837.50	1,837.50	0.00	1,837.50	0.00
REPAIRS, MAINTENANCE & PERMITS					
MAINT & REPAIRS- FACILITIES- ROUTINE	1,710.00	16,519.15	73,326.00	(56,806.85)	80,000.00
MAINT - YELLOWSTONE (MOW, TRIM, ETC)	14,121.00	190,358.40	227,150.00	(36,791.60)	247,805.00
WETLANDS MAINT - YELLOWSTONE	5,300.00	82,840.00	80,938.00	1,902.00	88,300.00
SPECIAL PROJECTS - YELLOWSTONE	0.00	34,272.50	50,000.00	(15,727.50)	50,000.00
MAINTENANCE - ROADS	3,612.00	39,732.00	39,875.00	(143.00)	43,500.00
MAINTENANCE - PARKS	0.00	327,014.25	327,012.00	2.25	436,019.00
MAINTENANCE - OTHER	0.00	18,547.75	30,000.00	(11,452.25)	30,000.00
MAINT & REPAIRS- SPECIAL PROJECTS	0.00	0.00	0.00	0.00	0.00
CORP. PERMIT COMPLIANCE	454.02	16,588.13	32,076.00	(15,487.87)	35,000.00
STORM WATER COMPLIANCE / PERMIT	0.00	3,163.17	3,282.00	(118.83)	4,375.00
EMERGENCY MEASURES PROGRAM	0.00	0.00	0.00	0.00	0.00
DEVELOPER PERMIT FEES	1,710.00	16,950.00	6,600.00	10,350.00	7,200.00
LEVEE INSPECTION/ RECERTIFICATION	0.00	0.00	2,000.00	(2,000.00)	2,000.00
PERMIT FEES	0.00	100.00	0.00	100.00	0.00
UTILITIES - ALCORN BAYOU PUMP ST	537.58	27,902.42	68,750.00	(40,847.58)	75,000.00
TELEPHONE - ALCORN BAYOU PUMP ST	0.00	0.00	913.00	(913.00)	1,000.00
JOINT PUMP STATION EXPENSES	0.00	22,776.98	66,290.25	(43,513.27)	88,387.00
ADMINISTRATIVE EXPENSES					
DIRECTOR FEES	600.00	13,500.00	11,000.00	2,500.00	12,000.00
PRINTING/OFFICE SUPPLIES	614.64	2,134.30	3,025.00	(890.70)	3,300.00
POSTAGE	0.00	0.00	0.00	0.00	0.00
INSURANCE	0.00	18,263.00	32,000.00	(13,737.00)	32,000.00
LEGAL NOTICES	0.00	23.50	0.00	23.50	0.00
TRAVEL AND EXPENSES	43.60	4,529.57	4,576.00	(46.43)	5,000.00
PUBLIC COMMUNICATIONS	4,385.00	11,653.00	4,576.00	7,077.00	5,000.00
MEETING EXPENSES	0.00	597.50	550.00	47.50	600.00
PAYROLL TAXES	45.91	1,032.86	825.00	207.86	900.00
BANK CHARGES	27.66	341.80	407.00	(65.20)	450.00
DUES	0.00	6,650.00	8,600.00	(1,950.00)	8,600.00
ELECTION EXPENSES	2,028.75	4,113.75	0.00	4,113.75	0.00
OTHER EXPENSES	2,012.50	2,012.50	0.00	2,012.50	0.00
TOTAL EXPENDITURES FROM OPERATIONS	80,832.19	1,223,874.24	1,471,097.25	(247,223.01)	1,686,936.00

FORT BEND COUNTY LEVEE IMPROVEMENT DISTRICT NO. 15

GENERAL FUND

**STATEMENT OF REVENUES AND EXPENDITURES
FOR THE ELEVEN MONTHS ENDED AUGUST 31, 2018**

	<u>-Current Period- Actual</u>	<u>Year-to-Date</u>			<u>Annual Budget</u>
		<u>Actual</u>	<u>Budget</u>	<u>Variance</u>	
EXCESS REVENUES (EXP) FROM OPERATIONS	(74,989.83)	1,264,659.83	948,652.75	316,007.08	735,064.00
GOVT AGENCY CONTRIBUTION	0.00	0.00	0.00	0.00	0.00
CAPITAL OUTLAY - SUPP PUMPS	0.00	(347,805.60)	0.00	(347,805.60)	0.00
CAPITAL OUTLAY - ENGINEERING FEES	0.00	(17,117.75)	0.00	(17,117.75)	0.00
CAPITAL OUTLAY - LAND	0.00	(1,471.72)	0.00	(1,471.72)	0.00
FUTURE REIMB - LEVEE BONDS	(87,321.30)	(634,194.37)	0.00	(634,194.37)	0.00
FUTURE REIMB - ROAD BONDS	4,652.00	4,652.00	0.00	4,652.00	0.00
FUTURE REIMB - PARK BONDS	0.00	0.00	0.00	0.00	0.00
FUTURE REIMB - PARK BONDS	0.00	0.00	0.00	0.00	0.00
TFR FROM CAPITAL PROJECTS FUND	0.00	0.00	0.00	0.00	0.00
EXCESS REVENUES (EXPENDITURES)	<u>(157,659.13)</u>	<u>268,722.39</u>	<u>948,652.75</u>	<u>(679,930.36)</u>	<u>735,064.00</u>

**FORT BEND COUNTY LEVEE IMPROVEMENT DISTRICT NO 15
UTILITY BILLINGS
8/10/2018**

<u>SERVICE PROVIDER</u>	<u>BILLING START DATE</u>	<u>BILLING END DATE</u>	<u>CONSUMPTION KWH</u>	<u>INVOICE CHARGE</u>
<u>PUMP STATION AT 6811 1/2 THOMPSON FERRY RD, SUGARLAND TX 77449</u>				
CAVALLO ENERGY	10/10/17	11/08/17	5,760	\$2,956.20
CAVALLO ENERGY	11/08/17	12/11/17	7,200	\$3,068.17
CAVALLO ENERGY	12/11/17	01/12/18	7,920	\$3,116.45
CAVALLO ENERGY	01/12/18	02/12/18	6,480	\$3,044.18
CAVALLO ENERGY	02/12/18	03/13/18	5,760	\$3,003.12
CAVALLO ENERGY	03/13/18	04/12/18	5,760	\$3,002.84
CAVALLO ENERGY	04/12/18	05/11/18	5,040	\$2,965.61
CAVALLO ENERGY	05/11/18	06/12/18	6,480	\$3,075.36
CAVALLO ENERGY	06/12/18	07/11/18	5,760	\$3,132.91
CAVALLO ENERGY	07/12/18	08/10/18	5,760	\$537.58
FISCAL YEAR 2018 TOTALS			<u>61,920</u>	<u>\$27,902.42</u>

FORT BEND COUNTY LEVEE IMPROVEMENT DISTRICT NO. 15
 GENERAL OPERATING FUND
 BUDGET FOR THE YEAR ENDED SEPTEMBER 30, 2019

DRAFT 9/21/18

		2018 BUDGET	ACTUAL THRU 8/31/2018 (11 MOS)	2019 BUDGET
REVENUE				
PROPERTY TAXES	CERT TV \$1.929 BILLION @ \$.14 X 98.5%	\$2,395,000	\$2,439,960	\$2,660,500
INTEREST ON DEPOSITS	PROJECT LESS FUNDS IN GOF - RISING RATES	15,000	31,074	28,000
DEVELOPER PERMIT FEES	100 PERMITS @ \$100 EACH	12,000	17,500	10,000
MISC REVENUES		0	0	0
		2,422,000	2,488,534	2,698,500
EXPENDITURES				
<u>PROFESSIONAL FEES:</u>				
AUDITING	PER MARK MCGRATH	13,500	13,500	13,500
LEGAL - GENERAL	PER NANCY	120,000	119,067	120,000
LEGAL - CONSTRUCTION	PAID FROM BOND PROCEEDS	0	21,349	0
LEGAL - OTHER	FEMA APP , LITIGATION ATT - PER NANCY	55,000	19,212	55,000
ENGINEERING - GENERAL	\$6K PER MONTH - PER CHAD	80,000	34,603	72,000
ENGINEERING - SPECIAL PROJECTS	PER CHAD	30,000	52,956	15,000
<u>CONTRACTED SERVICES:</u>				
ACCOUNTING	\$2,250 PER MONTH	24,000	12,748	27,000
OPERATOR FEES - ROUTINE	\$7,645 / MTH = \$92K PLUS \$3K OTHER	108,000	86,985	95,000
OPERATOR FEES - SPECIAL	ADD TIME - RIVER EVENTS OR OTHER EMEG	25,000	1,838	15,000
<u>MAINTENANCE & REPAIRS - ROUTINE</u>				
LEVEE & AB PUMP ST - ROUTINE - LMS	FACILITIES & MISC CHARGES	80,000	16,519	50,000
LEVEE/WATERWAYS - YELLOWSTONE	MOW, FERTILIZE, SEEDING, TRIM TREES, HERBICIDE-\$40k	247,805	190,358	325,000
WETLANDS - MAINTENANCE	YELLOWSTONE \$70K, LAKE MGT \$30k	88,300	82,840	100,000
ALCORN BAYOU PUMP ST - UTILITIES	\$600 PER MONTH (NO RATCHET CHARGE)	75,000	27,902	7,200
ALCORN BAYOU PUMP ST - TELEPHONE	ESITMATE PER CHAD	1,000	0	1,000
ROAD / SIGNAL - MAINTENANCE	STREET SWEEP - \$3,612/MTH, \$10K POLE REPAIRS	43,500	39,732	53,500
PARK - MAINTENANCE	CONTRIBUTION TO HOA	436,019	327,014	449,115
OTHER - MAINTENANCE	MOSQUITO SPRAYING, ETC	30,000	18,548	15,000
LEVEE INSPECTION/RECERTICATION	\$1,500 - \$2,000 ANNUALLY, 5TH YEAR \$6,000	2,000	0	2,000
CORP. PERMIT COMPLIANCE	ANN PMT TO LBRC (\$2,500) + BERG OLIVER MONITOR	35,000	16,588	35,000
STORM WATER COMPLIANCE/PERMIT	LID PORTION 12.5% OF \$35,000	4,375	3,263	4,375
STEEP BANK CRK JT PUMP STATION	BASED ON FB LID 19 BUDGET - SEE DETAILS [A]	88,387	22,777	30,028
<u>MAINTENANCE & REPAIRS - SPECIAL PROJECTS</u>				
SPECIAL PROJECTS - LEVEE	TO BE PAID FROM FUTURE BOND PROCEEDS	50,000	0	0
SPECIAL PROJECTS - WETLANDS	PER SUSAN ALFORD	0	34,273	25,000
<u>PERMIT EXPENSE</u>				
DEVELOPER PERMIT FEES	100 PERMITS (ENG \$30 EACH & OPER \$30 EACH)	7,200	16,950	6,000

		2018 BUDGET	ACTUALTHRU 8/31/2018	2019 BUDGET
ADMINISTRATIVE EXPENSES:				
DIRECTOR FEES	5 DIRECTORS - 2 MTGS/MTH \$18k + CONF \$2k	12,000	13,500	20,000
TRAVEL & EXPENSES	\$75/MONTH + 4 CONF.	5,000	4,530	7,500
PAYROLL TAXES	DIRECTOR FEES X 7.65%	900	1,033	1,530
ELECTION EXPENSES	NOV 2018 - 1ST TIME ELECTION	0	4,114	25,000
PUBLIC COMMUNICATIONS	OFF CINCO \$385/MTH & 180 MESS \$2K/MTH	5,000	11,653	28,620
INSURANCE	ACTUAL OCT 17 (\$33K) - ZIPLINE REFUND (\$5.7k)	32,000	18,263	27,250
PRINTING & OFFICE SUPPLIES	\$300 PER MONTH	3,300	2,134	3,600
BANK CHARGES	ESTIMATE	450	342	450
MEETING EXPENSES	CATERING COST ESTIMATE	600	598	2,500
DUES	AWBD \$700 & JOINT LID ASSOC \$6,000	8,600	6,650	6,700
LEGAL NOTICES		0	24	0
OTHER EXPENSES		0	2,013	0
TOTAL EXPENDITURES FROM OPERATIONS		1,711,936	1,223,874	1,638,868
NET REVENUE (EXPENDITURES) FROM OPERATIONS		710,064	1,264,660	1,029,604
DUE FROM FUTURE BOND SALES:				
LEVEE BONDS	DESIGN OF HAGERSON PS & INTERCONNECT	0	(629,542)	(140,000)
PARK BONDS		0	0	0
CAPITAL OUTLAY - LAND		0	(1,472)	0
CAPITAL OUTLAY - ENGINEERING		0	(17,118)	0
CAPITAL OUTLAY OTHER	SUPP. PUMPS AT STEEP BK CR PS	0	(347,806)	0
CAPITAL OUTLAY OTHER	MESSAGE BOARDS & SUPP PUMPS STRUCTURE	0	0	(100,000)
CAPITAL OUTLAY OTHER	AUTOMATED DATA COLLECTION SYSTEM	0	0	(25,000)
CAPITAL OUTLAY OTHER	HOG FENCING	0	0	(150,000)
TRANSFER FROM CAPITAL PROJ FUND	PRESWICK \$410k + ENG-HAGERSON PS/IC \$357K	0	0	767,000
NET REVENUE (EXPENDITURES)		\$710,064	\$268,722	\$1,381,604
ESTIMATED GOF CASH & INVESTMENT BALANCE @ 9/30/18				\$1,740,000
ESTIMATED GOF CASH & INVESTMENT BALANCE @ 9/30/19				\$3,121,604

OPERATING RESERVE = 1 YEAR OF BUDGETED EXPENDITURES =

\$1,638,868

[A] STEEP BANK CREEK JOINT PUMP STATION OPERATIONS (BASED ON LID 19 BUDGET)				
PUMP ST OPERATOR FEE	55.3% OF \$5,000 ESTIMATE	3,264	0	2,765
PUMP ST MAINTENANCE	55.3% OF \$10,000 ESTIMATE	9,792	0	5,530
SUPP. PUMPS - MAINTENANCE	55.3% OF \$10,000 ESTIMATE	0	0	5,530
PUMP ST UTILITIES	55.3% OF \$17,500 ESTIMATE	70,000	0	9,678
PUMP STATION TELEPHONE	55.3% OF \$1,000 ESTIMATE	544	0	553
PUMP STATION INSURANCE	55.3% OF \$10,000 ESTIMATE	4,352	0	5,530
PUMP STATION ACCOUNTING	55.3% OF \$800 ESTIMATE	435	0	442
		88,387	22,777	30,028



Developer Report
-Prepared on September 21, 2018-



Kroger opened the store on LJ Parkway & University Blvd on August 31, 2018.

2018 Riverstone New Home Sales

Legend:	Count	Sales Average	Est. AV
MUD 46	2	\$386,185	\$772,370
MUD 115	3	\$440,080	\$1,320,241
MUD 128	224	\$659,361	\$147,696,863
MUD 129	24	\$542,231	\$13,013,553
MUD 149	44	\$436,909	\$19,224,012
	297	\$612,886	\$182,027,039

Builder	Sale Price	Neighborhood	Legal Description	Contract Date
50'				
1 Perry Homes	\$368,359	Stonebrook	STO/2 / STO/1/71	01/12/18
2 Perry Homes	\$323,000	Stonebrook	STO/2 / STO/1/80	08/26/18
3 Perry Homes	\$306,247	Stonebrook	STO/2 / STO/2/15	08/25/18
4 Perry Homes	\$378,000	Stonebrook	STO/2 / STO/2/16	04/01/18
5 Perry Homes	\$360,000	Stonebrook	STO/2 / STO/2/19	08/06/18
6 Perry Homes	\$359,592	Stonebrook	STO/2 / STO/2/25	01/21/18
7 Perry Homes	\$364,950	Stonebrook	STO/2 / STO/2/4	08/25/18
8 Perry Homes	\$365,525	Stonebrook	STO/2 / STO/2/5	07/01/18
50' Average	\$353,209		8 Homes	

Builder	Sale Price	Neighborhood	Legal Description	Contract Date
50' Patio				
9 The Manors by Westport	\$427,900	The Manors	MAN/1 / MAN/3/10	02/11/18
10 The Manors by Westport	\$493,201	The Manors	MAN/1 / MAN/3/11	02/11/18
11 The Manors by Westport	\$399,140	The Manors	MAN/1 / MAN/3/9	02/11/18
12 Emerald Homes	\$385,119	The Villas	VIL/1 / VIL/1/13	02/23/18
13 Emerald Homes	\$367,701	The Villas	VIL/1 / VIL/1/14	02/09/18
14 Emerald Homes	\$308,990	The Villas	VIL/1 / VIL/1/18	02/04/18
15 Emerald Homes	\$370,990	The Villas	VIL/1 / VIL/1/24	02/04/18
16 Emerald Homes	\$325,990	The Villas	VIL/1 / VIL/1/27	08/12/18
17 Emerald Homes	\$329,900	The Villas	VIL/1 / VIL/1/28	01/21/18
18 Emerald Homes	\$417,600	The Villas	VIL/1 / VIL/1/30	08/12/18
19 Emerald Homes	\$329,990	The Villas	VIL/1 / VIL/1/5	05/03/18
20 Emerald Homes	\$369,000	The Villas	VIL/1 / VIL/1/6	04/29/18
21 Emerald Homes	\$338,000	The Villas	VIL/1 / VIL/2/3	04/04/18
22 Emerald Homes	\$337,897	The Villas	VIL/1 / VIL/2/5	02/04/18
23 Emerald Homes	\$369,990	The Villas	VIL/1 / VIL/2/8	02/20/18
24 Emerald Homes	\$373,780	The Villas	VIL/1 / VIL/2/9	04/08/18
50' Patio Average	\$371,574		16 Homes	

Builder	Sale Price	Neighborhood	Legal Description	Contract Date
55'				
25 Newmark Homes	\$355,000	Pebble Creek	PCK/1 / PCK/1/25	01/12/18
26 Newmark Homes	\$417,370	Pebble Creek	PCK/1 / PCK/1/43	01/21/18
27 Perry Homes	\$409,891	Stonebrook	STO/2 / STO/1/66	03/18/18
28 Perry Homes	\$437,155	Stonebrook	STO/2 / STO/1/67	04/09/18
29 Perry Homes	\$417,500	Stonebrook	STO/2 / STO/1/64	04/29/18
55' Average	\$407,383		5 Homes	

Builder	Sale Price	Neighborhood	Legal Description	Contract Date
55' Patio				
30 Taylor Morrison	\$300,000	Avalon at Riverstone	AVALON/24A / AVA/1/11	06/15/18
31 Taylor Morrison	\$353,650	Avalon at Riverstone	AVALON/24A / AVA/1/14	02/11/18
32 Darling Homes	\$500,000	Avalon at Riverstone	AVALON/8 / AVA/2/15	08/20/18
33 Sitterle Homes	\$485,000	Prestwick	PRW/1 / PRW/1/21	05/06/18
34 Sitterle Homes	\$528,000	Prestwick	PRW/1 / PRW/1/25	09/15/18
35 Sitterle Homes	\$498,000	Prestwick	PRW/1 / PRW/1/26	01/03/18
36 Sitterle Homes	\$540,000	Prestwick	PRW/1 / PRW/1/32	01/04/18
37 Sitterle Homes	\$508,000	Prestwick	PRW/1 / PRW/1/33	01/06/18

38	Sitterle Homes	\$398,888	Prestwick	PRW/1 / PRW/1/38	04/08/18
	55' Patio Average	\$456,838		9 Homes	
	60'				
39	Westin Homes	\$564,000	Alden Springs	ALDEN/1 / AS/2/1	01/28/18
40	Westin Homes	\$640,000	Alden Springs	ALDEN/1 / AS/2/4	05/27/18
41	Westin Homes	\$540,000	Alden Springs	ALDEN/1 / AS/2/5	04/19/18
42	Westin Homes	\$488,685	Alden Springs	ALDEN/2 / AS/1/1	05/16/18
43	Westin Homes	\$480,000	Alden Springs	ALDEN/2 / AS/1/14	06/18/18
44	Taylor Morrison	\$460,000	Avalon at Riverstone	AVALON/12A / AVA/1/1	07/14/18
45	Taylor Morrison	\$467,679	Avalon at Riverstone	AVALON/12A / AVA/1/3	08/05/18
46	Taylor Morrison	\$487,975	Avalon at Riverstone	AVALON/12A / AVA/2/10	01/14/18
47	Taylor Morrison	\$500,000	Avalon at Riverstone	AVALON/12A / AVA/2/13	05/27/18
48	Taylor Morrison	\$365,000	Avalon at Riverstone	AVALON/12A / AVA/2/8	06/16/18
49	Taylor Morrison	\$482,000	Avalon at Riverstone	AVALON/12B / AVA/1/1	07/02/18
50	Taylor Morrison	\$503,049	Avalon at Riverstone	AVALON/12B / AVA/1/14	03/11/18
51	Taylor Morrison	\$466,990	Avalon at Riverstone	AVALON/12B / AVA/1/16	06/03/18
52	Taylor Morrison	\$493,051	Avalon at Riverstone	AVALON/12B / AVA/1/19	04/01/18
53	Taylor Morrison	\$535,220	Avalon at Riverstone	AVALON/12B / AVA/1/20	06/13/18
54	Taylor Morrison	\$545,828	Avalon at Riverstone	AVALON/12B / AVA/1/21	01/21/18
55	Taylor Morrison	\$525,853	Avalon at Riverstone	AVALON/12B / AVA/1/22	08/09/18
56	Taylor Morrison	\$626,181	Avalon at Riverstone	AVALON/12B / AVA/1/25	03/25/18
57	Taylor Morrison	\$510,526	Avalon at Riverstone	AVALON/12B / AVA/1/5	08/05/18
58	Taylor Morrison	\$543,991	Avalon at Riverstone	AVALON/12B / AVA/1/6	03/11/18
59	Taylor Morrison	\$488,640	Avalon at Riverstone	AVALON/12B / AVA/1/7	04/01/18
60	Taylor Morrison	\$521,926	Avalon at Riverstone	AVALON/12B / AVA/2/4	02/12/18
61	Taylor Morrison	\$462,369	Avalon at Riverstone	AVALON/12B / AVA/3/1	08/09/18
62	Taylor Morrison	\$605,292	Avalon at Riverstone	AVALON/12B / AVA/3/14	06/23/18
63	Taylor Morrison	\$593,330	Avalon at Riverstone	AVALON/12B / AVA/3/15	05/13/18
64	Taylor Morrison	\$576,093	Avalon at Riverstone	AVALON/12B / AVA/3/16	03/04/18
65	Taylor Morrison	\$489,032	Avalon at Riverstone	AVALON/12B / AVA/3/2	03/19/18
66	Taylor Morrison	\$491,402	Avalon at Riverstone	AVALON/12B / AVA/3/20	02/18/18
67	Taylor Morrison	\$485,920	Avalon at Riverstone	AVALON/12C / AVA/1/6	05/27/18
68	Taylor Morrison	\$437,854	Avalon at Riverstone	AVALON/12C / AVA/2/2	05/13/18
69	Taylor Morrison	\$437,900	Avalon at Riverstone	AVALON/12C / AVA/2/7	07/28/18
70	Taylor Morrison	\$505,990	Avalon at Riverstone	AVALON/12C / AVA/2/9	08/25/18
71	Taylor Morrison	\$505,990	Avalon at Riverstone	AVALON/12C / AVA/3/11	07/14/18
72	Taylor Morrison	\$565,990	Avalon at Riverstone	AVALON/12C / AVA/3/12	09/02/18
73	Taylor Morrison	\$536,248	Avalon at Riverstone	AVALON/12C / AVA/3/15	07/14/18
74	Taylor Morrison	\$577,000	Avalon at Riverstone	AVALON/12C / AVA/3/16	07/06/18
75	Taylor Morrison	\$380,144	Avalon at Riverstone	AVALON/12C / AVA/3/17	05/20/18
76	Taylor Morrison	\$515,900	Avalon at Riverstone	AVALON/12C / AVA/3/18	07/29/18
77	Taylor Morrison	\$424,874	Avalon at Riverstone	AVALON/12C / AVA/3/19	08/05/18
78	Taylor Morrison	\$500,000	Avalon at Riverstone	AVALON/9 / AVA/1/10	01/23/18
79	Taylor Morrison	\$454,421	Avalon at Riverstone	AVALON/9 / AVA/1/7	04/29/18
80	Perry Homes	\$393,025	Creekstone Village	CV/9 / CV/3/4	08/23/18
81	Perry Homes	\$443,965	Creekstone Village	CV/9 / CV/3/5	08/23/18
82	Perry Homes	\$365,000	Creekstone Village	CV/9 / CV/3/6	09/04/18
83	Newmark Homes	\$517,695	The Grove	GRV/1 / GRV/1/11	04/21/18
84	Newmark Homes	\$566,192	The Grove	GRV/1 / GRV/1/14	03/07/18
85	Newmark Homes	\$491,160	The Grove	GRV/1 / GRV/1/15	06/03/18
86	Newmark Homes	\$486,990	The Grove	GRV/1 / GRV/1/16	08/19/18
87	Newmark Homes	\$422,990	The Grove	GRV/1 / GRV/1/19	07/01/18
88	Newmark Homes	\$426,995	The Grove	GRV/1 / GRV/1/20	07/28/18
89	Newmark Homes	\$494,020	The Grove	GRV/1 / GRV/1/24	04/06/18
90	Newmark Homes	\$434,990	The Grove	GRV/1 / GRV/1/25	04/16/18
91	Newmark Homes	\$413,990	The Grove	GRV/1 / GRV/1/28	04/07/18
92	Newmark Homes	\$507,210	The Grove	GRV/1 / GRV/1/29	03/15/18
93	Newmark Homes	\$586,147	The Grove	GRV/1 / GRV/1/33	01/20/18
94	Newmark Homes	\$502,570	The Grove	GRV/1 / GRV/1/34	07/12/18

95	Newmark Homes	\$461,456	The Grove	GRV/1 / GRV/1/35	02/08/18
96	Newmark Homes	\$507,152	The Grove	GRV/1 / GRV/1/36	05/05/18
97	Newmark Homes	\$593,545	The Grove	GRV/1 / GRV/1/46	07/13/18
98	Newmark Homes	\$508,910	The Grove	GRV/1 / GRV/1/5	02/07/18
99	Newmark Homes	\$517,425	The Grove	GRV/1 / GRV/1/6	06/10/18
100	Newmark Homes	\$567,400	The Grove	GRV/1 / GRV/2/10	01/28/18
101	Newmark Homes	\$582,165	The Grove	GRV/1 / GRV/2/11	04/28/18
102	Newmark Homes	\$553,545	The Grove	GRV/1 / GRV/2/2	01/22/18
103	Newmark Homes	\$524,501	The Grove	GRV/1 / GRV/2/3	04/01/18
104	Newmark Homes	\$554,760	The Grove	GRV/1 / GRV/2/7	09/16/18
105	Meritage Homes	\$501,714	Auburn Heights	IVR/1 / IVR Partial Replat 1/1/1	02/11/18
106	Meritage Homes	\$496,553	Auburn Heights	IVR/1 60' / IVR/1/2	08/06/18
107	Meritage Homes	\$416,500	Amber Creek	RSN/1 / RSN/1/45	07/08/18
108	Meritage Homes	\$406,276	Amber Creek	RSN/1 / RSN/2/18	07/01/18
109	Meritage Homes	\$520,000	Amber Creek	RSN/1 / RSN/2/20	09/13/18
110	Meritage Homes	\$410,000	Scenic Bend	RSN/3 / RSN/1/13	08/10/18
111	Meritage Homes	\$431,000	Scenic Bend	RSN/3 / RSN/1/14	04/29/18
112	Meritage Homes	\$511,750	Scenic Bend	RSN/3 / RSN/1/5	08/19/18
113	Meritage Homes	\$467,688	Scenic Bend	RSN/3 / RSN/2/28	09/09/18
114	Meritage Homes	\$490,599	Scenic Bend	RSN/4 / RSN/1/23	04/22/18
115	Meritage Homes	\$537,814	Scenic Bend	RSN/4 / RSN/1/26	06/10/18
116	Perry Homes	\$363,250	Stonebrook	STO/2 / STO/1/10	01/09/18
117	Perry Homes	\$442,112	Stonebrook	STO/2 / STO/1/16	01/22/18
118	Perry Homes	\$463,840	Stonebrook	STO/2 / STO/1/17	04/01/18
119	Perry Homes	\$415,800	Stonebrook	STO/2 / STO/1/24	06/17/18
120	Perry Homes	\$418,687	Stonebrook	STO/2 / STO/1/28	05/20/18
121	Perry Homes	\$394,159	Stonebrook	STO/2 / STO/1/30	01/21/18
122	Perry Homes	\$495,000	Stonebrook	STO/2 / STO/1/35	07/11/18
123	Perry Homes	\$402,722	Stonebrook	STO/2 / STO/1/5	05/27/18
124	Perry Homes	\$493,221	Stonebrook	STO/2 / STO/1/55	03/09/18
125	Perry Homes	\$420,000	Stonebrook	STO/2 / STO/1/60	09/10/18
60' Average		\$490,860		87 Homes	

60' Patio

126	Taylor Morrison	\$377,825	Avalon at Riverstone	AVALON/20 / AVA/1/1	08/18/18
127	Taylor Morrison	\$462,885	Avalon at Riverstone	AVALON/20 / AVA/1/10	02/10/18
128	Taylor Morrison	\$392,000	Avalon at Riverstone	AVALON/20 / AVA/1/2	03/15/18
129	Taylor Morrison	\$368,990	Avalon at Riverstone	AVALON/20 / AVA/1/3	05/27/18
130	Taylor Morrison	\$414,641	Avalon at Riverstone	AVALON/20 / AVA/1/4	01/16/18
131	Taylor Morrison	\$383,990	Avalon at Riverstone	AVALON/20 / AVA/1/6	05/03/18
132	Taylor Morrison	\$425,661	Avalon at Riverstone	AVALON/20 / AVA/1/7	02/04/18
133	Taylor Morrison	\$430,323	Avalon at Riverstone	AVALON/20 / AVA/1/8	08/15/18
134	Taylor Morrison	\$402,995	Avalon at Riverstone	AVALON/20 / AVA/1/9	07/18/18
135	Taylor Morrison	\$410,900	Avalon at Riverstone	AVALON/20 / AVA/3/10	01/20/18
136	Taylor Morrison	\$377,741	Avalon at Riverstone	AVALON/20 / AVA/3/3	07/01/18
137	Taylor Morrison	\$399,164	Avalon at Riverstone	AVALON/20 / AVA/3/7	02/22/18
138	Taylor Morrison	\$466,121	Avalon at Riverstone	AVALON/20 / AVA/3/8	06/09/18
139	Taylor Morrison	\$395,784	Avalon at Riverstone	AVALON/20 / AVA/4/10	08/05/18
140	Taylor Morrison	\$422,812	Avalon at Riverstone	AVALON/20 / AVA/4/12	03/11/18
141	Taylor Morrison	\$435,880	Avalon at Riverstone	AVALON/20 / AVA/4/15	04/01/18
142	Taylor Morrison	\$382,990	Avalon at Riverstone	AVALON/20 / AVA/4/18	04/28/18
143	Taylor Morrison	\$423,990	Avalon at Riverstone	AVALON/20 / AVA/4/19	01/16/18
144	Darling Homes	\$475,000	Avalon at Riverstone	AVALON/20 / AVA/4/2	07/21/18
145	Taylor Morrison	\$419,990	Avalon at Riverstone	AVALON/20 / AVA/4/21	08/15/18
146	Taylor Morrison	\$395,125	Avalon at Riverstone	AVALON/20 / AVA/4/24	07/01/18
147	Taylor Morrison	\$412,332	Avalon at Riverstone	AVALON/20 / AVA/4/27	08/13/18
148	Taylor Morrison	\$379,990	Avalon at Riverstone	AVALON/20 / AVA/4/28	08/14/18
149	Darling Homes	\$665,000	Avalon at Riverstone	AVALON/20 / AVA/4/4	09/08/18
150	Darling Homes	\$462,500	Avalon at Riverstone	AVALON/20 / AVA/4/9	01/12/18
60' Patio Average		\$423,385		25 Homes	

65'

151	Perry Homes	\$436,745	Creekstone Village	CV/9 / CV/4/3	09/14/18
152	Perry Homes	\$519,302	Lost Creek	LCR/1 / LCR/2/2	07/01/18
153	Perry Homes	\$483,900	Lost Creek	LCR/2 / LCR/1/13	07/26/18
154	Perry Homes	\$504,200	Lost Creek	LCR/2 / LCR/1/5	03/24/18
155	Perry Homes	\$488,300	Lost Creek	LCR/2 / LCR/3/10	03/18/18
156	Highland Homes	\$450,000	Lost Creek	LCR/3 / LCR/1/10	04/15/18
157	Highland Homes	\$473,425	Lost Creek	LCR/3 / LCR/1/11	04/29/18
158	Perry Homes	\$455,905	Lost Creek	LCR/3 / LCR/1/12	01/02/18
159	Perry Homes	\$462,000	Lost Creek	LCR/3 / LCR/1/13	03/04/18
160	Perry Homes	\$465,000	Lost Creek	LCR/3 / LCR/1/17	01/10/18
161	Highland Homes	\$468,000	Lost Creek	LCR/3 / LCR/1/4	06/03/18
162	Perry Homes	\$469,900	Lost Creek	LCR/3 / LCR/1/7	01/07/18
163	Highland Homes	\$497,880	Lost Creek	LCR/3 / LCR/1/9	02/04/18
164	Perry Homes	\$485,200	Lost Creek	LCR/3 / LCR/2/10	04/11/18
165	Highland Homes	\$502,700	Lost Creek	LCR/3 / LCR/2/17	05/15/18
166	Perry Homes	\$525,100	Lost Creek	LCR/3 / LCR/2/18	05/15/18
167	Perry Homes	\$475,000	Lost Creek	LCR/3 / LCR/2/2	07/21/18
168	Perry Homes	\$480,000	Lost Creek	LCR/3 / LCR/2/3	03/02/18
169	Perry Homes	\$484,900	Lost Creek	LCR/3 / LCR/2/4	07/22/18
170	Highland Homes	\$412,500	Lost Creek	LCR/3 / LCR/2/6	02/08/18
171	Perry Homes	\$519,800	Lost Creek	LCR/3 / LCR/2/8	05/27/18
65' Average		\$479,036		21 Homes	

65' Patio

172	Darling Homes	\$667,287	Avalon at Riverstone	AVALON/20 / AVA/3/14	04/01/18
173	Darling Homes	\$676,585	Avalon at Riverstone	AVALON/20 / AVA/3/15	07/22/18
174	Darling Homes	\$607,000	Avalon at Riverstone	AVALON/20 / AVA/3/19	05/08/18
175	Darling Homes	\$611,000	Avalon at Riverstone	AVALON/20 / AVA/3/21	02/21/18
176	Darling Homes	\$620,000	Avalon at Riverstone	AVALON/20 / AVA/3/23	05/01/18
177	Darling Homes	\$564,208	Avalon at Riverstone	AVALON/20 / AVA/3/25	07/09/18
178	Darling Homes	\$630,000	Avalon at Riverstone	AVALON/20 / AVA/3/29	04/24/18
179	Darling Homes	\$678,686	Avalon at Riverstone	AVALON/20 / AVA/3/30	08/05/18
180	Darling Homes	\$750,000	Avalon at Riverstone	AVALON/20 / AVA/3/31	07/10/18
181	Darling Homes	\$563,990	Avalon at Riverstone	AVALON/20 / AVA/3/33	06/03/18
182	Darling Homes	\$559,990	Avalon at Riverstone	AVALON/20 / AVA/4/33	09/16/18
183	Darling Homes	\$576,000	Avalon at Riverstone	AVALON/20 / AVA/4/38	07/01/18
184	Darling Homes	\$625,390	Avalon at Riverstone	AVALON/20 / AVA/4/39	09/02/18
185	Darling Homes	\$669,640	Avalon at Riverstone	AVALON/20 / AVA/4/40	05/16/18
186	Darling Homes	\$549,965	Whisper Rock	WHR/1 / WHR/1/19	04/23/18
187	Darling Homes	\$680,000	Whisper Rock	WHR/1 / WHR/1/26	09/02/18
188	Darling Homes	\$532,000	Whisper Rock	WHR/1 / WHR/1/29	04/26/18
189	Darling Homes	\$530,000	Whisper Rock	WHR/1 / WHR/1/7	07/01/18
65' Patio Average		\$616,208		18 Homes	

70'

190	Darling Homes	\$850,000	Avalon at Riverstone	AVALON/11A / AVA/1/3	05/13/18
191	Taylor Morrison	\$775,000	Avalon at Riverstone	AVALON/11A / AVA/1/6	06/24/18
192	Taylor Morrison	\$569,836	Avalon at Riverstone	AVALON/11B / AVA/2/16	01/18/18
193	Taylor Morrison	\$590,350	Avalon at Riverstone	AVALON/11B / AVA/2/20	03/25/18
194	Darling Homes	\$776,100	Avalon at Riverstone	AVALON/14 / AVA/1/12	08/17/18
195	Darling Homes	\$785,000	Avalon at Riverstone	AVALON/14 / AVA/1/21	07/29/18
196	Taylor Morrison	\$578,465	Avalon at Riverstone	AVALON/14 / AVA/1/48	09/11/18
197	Darling Homes	\$806,790	Avalon at Riverstone	AVALON/14 / AVA/2/10	07/15/18
198	Newmark Homes	\$810,020	Avalon at Riverstone	AVALON/18A / AVA/2/11	06/20/18
199	Newmark Homes	\$680,650	Avalon at Riverstone	AVALON/18A / AVA/2/13	01/02/18
200	Taylor Morrison	\$483,185	Avalon at Riverstone	AVALON/18A / AVA/2/2	01/15/18
201	Taylor Morrison	\$625,034	Avalon at Riverstone	AVALON/18A / AVA/2/8	01/14/18
202	Taylor Morrison	\$540,000	Avalon at Riverstone	AVALON/18A / AVA/3/11	04/06/18

203	Newmark Homes	\$672,840	Avalon at Riverstone	AVALON/18A / AVA/3/12	03/14/18
204	Newmark Homes	\$762,690	Avalon at Riverstone	AVALON/18A / AVA/3/4	02/03/18
205	Newmark Homes	\$662,680	Avalon at Riverstone	AVALON/18A / AVA/3/7	07/21/18
206	Taylor Morrison	\$474,175	Avalon at Riverstone	AVALON/18B / AVA/1/1	08/16/18
207	Taylor Morrison	\$602,608	Avalon at Riverstone	AVALON/18B / AVA/1/2	05/19/18
208	Darling Homes	\$985,748	Avalon at Riverstone	AVALON/18B / AVA/2/1	04/08/18
209	Taylor Morrison	\$584,925	Avalon at Riverstone	AVALON/18B / AVA/2/17	07/02/18
210	Taylor Morrison	\$612,708	Avalon at Riverstone	AVALON/18B / AVA/2/19	06/03/18
211	Darling Homes	\$1,080,448	Avalon at Riverstone	AVALON/18B / AVA/2/2	09/02/18
212	Taylor Morrison	\$641,395	Avalon at Riverstone	AVALON/18B / AVA/2/20	04/25/18
213	Taylor Morrison	\$573,900	Avalon at Riverstone	AVALON/18B / AVA/2/21	05/17/18
214	Taylor Morrison	\$639,510	Avalon at Riverstone	AVALON/18B / AVA/2/24	06/14/18
215	Newmark Homes	\$830,743	Avalon at Riverstone	AVALON/18B / AVA/2/27	07/15/18
216	Newmark Homes	\$790,945	Avalon at Riverstone	AVALON/18B / AVA/2/28	08/23/18
217	Taylor Morrison	\$660,862	Avalon at Riverstone	AVALON/18B / AVA/2/30	01/14/18
218	Newmark Homes	\$740,000	Avalon at Riverstone	AVALON/18B / AVA/2/34	08/07/18
219	Taylor Morrison	\$685,388	Avalon at Riverstone	AVALON/18B / AVA/2/35	01/22/18
220	Darling Homes	\$982,670	Avalon at Riverstone	AVALON/18B / AVA/2/4	05/14/18
221	Newmark Homes	\$674,690	Avalon at Riverstone	AVALON/18B / AVA/3/3	06/03/18
222	Taylor Morrison	\$501,545	Avalon at Riverstone	AVALON/18B / AVA/4/11	07/20/18
223	Taylor Morrison	\$530,280	Avalon at Riverstone	AVALON/18B / AVA/4/14	06/14/18
224	Taylor Morrison	\$607,930	Avalon at Riverstone	AVALON/18B / AVA/4/16	07/01/18
225	Taylor Morrison	\$636,973	Avalon at Riverstone	AVALON/18B / AVA/4/17	04/22/18
226	Taylor Morrison	\$613,430	Avalon at Riverstone	AVALON/18B / AVA/4/18	09/02/18
227	Newmark Homes	\$768,824	Avalon at Riverstone	AVALON/18B / AVA/4/2	02/21/18
228	Taylor Morrison	\$609,130	Avalon at Riverstone	AVALON/18B / AVA/4/20	04/08/18
229	Taylor Morrison	\$598,883	Avalon at Riverstone	AVALON/18B / AVA/4/4	02/18/18
230	Meritage Homes	\$575,000	Ivory Ridge	IVR/1 70' / IVR/2/18	07/03/18
231	Meritage Homes	\$600,000	Scenic Bend	RSN/2 / RSN/1/12	05/20/18
232	Meritage Homes	\$564,000	Scenic Bend	RSN/2 / RSN/1/13	05/20/18
233	Meritage Homes	\$480,000	Scenic Bend	RSN/2 / RSN/1/24	03/11/18
234	Meritage Homes	\$530,000	Scenic Bend	RSN/2 / RSN/1/31	07/15/18
235	Meritage Homes	\$533,843	Scenic Bend	RSN/3 / RSN/1/2	05/20/18
236	Meritage Homes	\$539,438	Scenic Bend	RSN/5 / RSN/1/1	04/22/18
237	Meritage Homes	\$515,000	Scenic Bend	RSN/5 / RSN/1/23	05/20/18
238	Meritage Homes	\$541,815	Scenic Bend	RSN/5 / RSN/1/28	08/10/18
70' Average		\$658,683		49 Homes	

80

239	Darling Homes	\$800,000	Avalon at Riverstone	AVALON/10A / AVA/1/17	01/24/18
240	Taylor Morrison	\$659,000	Avalon at Riverstone	AVALON/10A / AVA/3/10	01/08/18
241	Darling Homes	\$814,068	Avalon at Riverstone	AVALON/11A / AVA/1/1	05/20/18
242	Taylor Morrison	\$965,000	Avalon at Riverstone	AVALON/11A / AVA/1/2	07/08/18
243	Darling Homes	\$902,753	Avalon at Riverstone	AVALON/11A / AVA/1/4	06/02/18
244	Taylor Morrison	\$776,220	Avalon at Riverstone	AVALON/11A / AVA/1/5	06/03/18
245	Darling Homes	\$956,683	Avalon at Riverstone	AVALON/11A / AVA/1/7	06/16/18
246	Taylor Morrison	\$722,210	Avalon at Riverstone	AVALON/11A / AVA/1/8	06/24/18
247	Darling Homes	\$1,092,490	Avalon at Riverstone	AVALON/14 / AVA/1/22	07/09/18
248	Darling Homes	\$1,042,258	Avalon at Riverstone	AVALON/14 / AVA/1/23	08/05/18
249	Darling Homes	\$1,034,768	Avalon at Riverstone	AVALON/14 / AVA/1/28	07/23/18
250	Darling Homes	\$1,075,990	Avalon at Riverstone	AVALON/14 / AVA/1/32	07/29/18
251	Darling Homes	\$1,107,960	Avalon at Riverstone	AVALON/14 / AVA/1/33	08/06/18
252	Darling Homes	\$1,207,858	Avalon at Riverstone	AVALON/14 / AVA/1/34	07/23/18
253	Darling Homes	\$1,097,728	Avalon at Riverstone	AVALON/14 / AVA/1/35	07/22/18
254	Darling Homes	\$1,174,790	Avalon at Riverstone	AVALON/14 / AVA/1/36	07/15/18
255	Darling Homes	\$1,043,898	Avalon at Riverstone	AVALON/14 / AVA/1/38	08/06/18
256	Darling Homes	\$1,179,530	Avalon at Riverstone	AVALON/14 / AVA/1/39	07/17/18
257	Darling Homes	\$1,204,743	Avalon at Riverstone	AVALON/14 / AVA/1/40	07/22/18
258	Darling Homes	\$1,095,638	Avalon at Riverstone	AVALON/14 / AVA/1/41	08/05/18
259	Darling Homes	\$1,051,388	Avalon at Riverstone	AVALON/14 / AVA/1/43	07/22/18

260	Darling Homes	\$1,071,790	Avalon at Riverstone	AVALON/14 / AVA/1/44	07/22/18
261	Darling Homes	\$904,880	Avalon at Riverstone	AVALON/14 / AVA/1/45	08/17/18
262	Darling Homes	\$1,045,318	Avalon at Riverstone	AVALON/14 / AVA/1/47	08/06/18
263	Darling Homes	\$913,090	Avalon at Riverstone	AVALON/14 / AVA/3/1	08/06/18
264	Darling Homes	\$861,970	Avalon at Riverstone	AVALON/14 / AVA/3/3	09/01/18
265	Taylor Morrison	\$650,000	Avalon at Riverstone	AVALON/15A / AVA/2/5	03/15/18
266	Taylor Morrison	\$687,170	Avalon at Riverstone	AVALON/15B P2 / AVA/1/17	05/11/18
267	Darling Homes	\$865,168	Avalon at Riverstone	AVALON/15B P2 / AVA/2/2	01/16/18
268	Darling Homes	\$1,161,680	Avalon at Riverstone	AVALON/16A / AVA/2/10	04/19/18
269	Taylor Morrison	\$927,020	Avalon at Riverstone	AVALON/16A / AVA/2/12	03/08/18
270	Taylor Morrison	\$712,308	Avalon at Riverstone	AVALON/16A / AVA/2/2	05/27/18
271	Taylor Morrison	\$997,847	Avalon at Riverstone	AVALON/16A / AVA/2/5	04/23/18
272	Darling Homes	\$1,027,390	Avalon at Riverstone	AVALON/16A / AVA/2/7	04/08/18
273	Darling Homes	\$937,203	Avalon at Riverstone	AVALON/16A / AVA/3/2	05/14/18
274	Darling Homes	\$811,910	Avalon at Riverstone	AVALON/16A / AVA/4/13	04/18/18
275	Darling Homes	\$900,000	Avalon at Riverstone	AVALON/16A / AVA/4/4	03/12/18
276	Darling Homes	\$881,875	Avalon at Riverstone	AVALON/16A / AVA/4/9	06/03/18
277	Taylor Morrison	\$878,129	Avalon at Riverstone	AVALON/16B / AVA/1/18	04/01/18
278	Darling Homes	\$700,000	Avalon at Riverstone	AVALON/16B / AVA/1/23	04/26/18
279	Darling Homes	\$745,000	Avalon at Riverstone	AVALON/16B / AVA/1/26	02/04/18
280	Darling Homes	\$775,000	Avalon at Riverstone	AVALON/16B / AVA/1/6	05/01/18
281	Taylor Morrison	\$883,625	Avalon at Riverstone	AVALON/17 / AVA/2/4	07/13/18
282	Taylor Morrison	\$887,808	Avalon at Riverstone	AVALON/17 / AVA/2/7	07/09/18
283	Taylor Morrison	\$578,345	Avalon at Riverstone	AVALON/17 / AVA/3/1	08/25/18
284	Taylor Morrison	\$830,299	Avalon at Riverstone	AVALON/17 / AVA/3/13	09/08/18
285	Taylor Morrison	\$754,414	Avalon at Riverstone	AVALON/22 / AVA/1/1	04/15/18
286	Taylor Morrison	\$867,042	Avalon at Riverstone	AVALON/22 / AVA/1/22	05/13/18
287	Darling Homes	\$916,000	Avalon at Riverstone	AVALON/22 / AVA/1/26	03/17/18
288	Taylor Morrison	\$946,185	Avalon at Riverstone	AVALON/22 / AVA/1/41	02/08/18
289	Darling Homes	\$938,880	Avalon at Riverstone	AVALON/22 / AVA/1/46	08/20/18
80' Average		\$922,791		51 Homes	

85'					
290	Partners in Building	\$1,333,500	The Enclave	ENCLAVE/1 / ENC/1/23	03/04/18
291	Partners in Building	\$1,447,059	The Enclave	ENCLAVE/1 / ENC/1/26	03/04/18
292	Partners in Building	\$1,367,500	The Enclave	ENCLAVE/1 / ENC/1/32	02/11/18
293	Partners in Building	\$1,355,000	The Enclave	ENCLAVE/2 / ENC/1/6	08/19/18
85' Average		\$1,375,765		4 Homes	

90'					
294	Partners in Building	\$1,982,711	The Enclave	ENCLAVE/1 / ENC/1/10	08/19/18
295	Fedrick, Harris	\$1,399,000	The Enclave	ENCLAVE/1 / ENC/1/21	01/28/18
296	Partners in Building	\$1,701,600	The Enclave	ENCLAVE/1 / ENC/1/30	04/01/18
297	Sterling Classic Homes	\$2,742,636	Majestic Pointe	MAJP/1 / MAJP/1/4	04/01/18
90' Average		\$1,956,487		4 Homes	

Riverstone Overall Sales Average	\$612,886				
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TBG

Ft. Bend County LID 15
Status Report
September 25, 2018

Avalon at Riverstone Section 17 – sitework, landscape and irrigation (H16083)

Earthfirst

Execution of Contract

Contract Amount	\$ 533,608.00
Change Orders to Date	\$(0)
Current Contract Amount	\$ 533,608.00

Ducks Unlimited Wetland Site

-Invoice for autofill scope

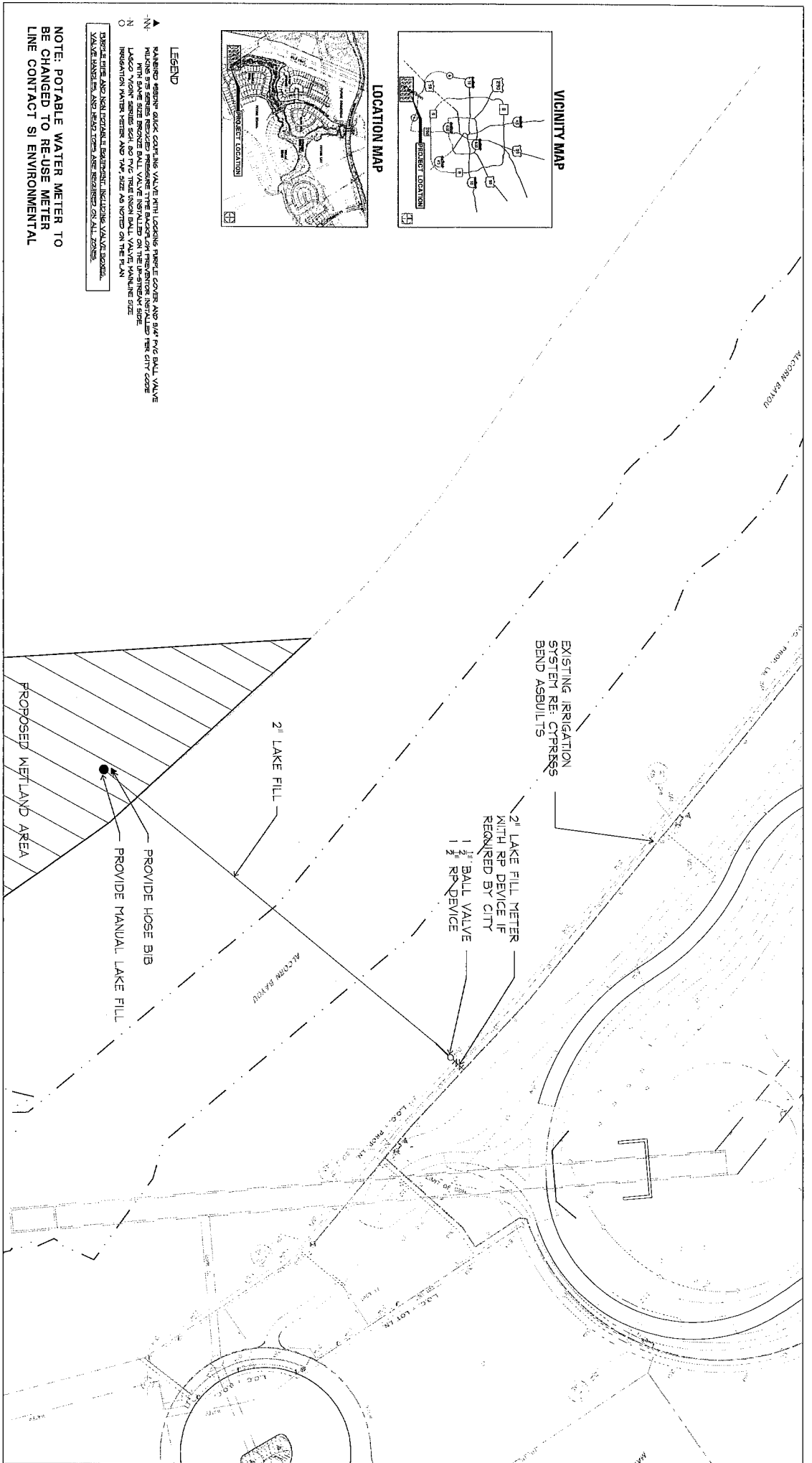
TBG is requesting authorization to Award

- Avalon at Riverstone Section 14

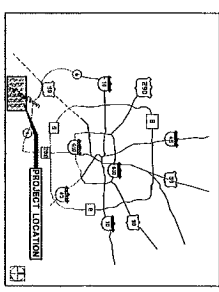
Projects Currently in Design: Avalon at Riverstone Section 19

Projects for Design TBG is requesting authorization to design and advertise for bid the following projects:

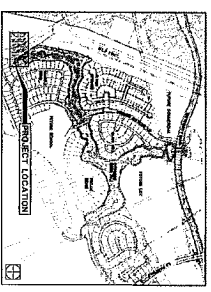
None.



VICINITY MAP



LOCATION MAP



LEGEND

- ▲ RANDED WEDGY' GULCH COULING VALVE WITH LOCKING HANDLE COVER AND 3/4" PVC BALL VALVE
 - N- 1/2" VIGOR SERIES 5000 PRESSURE REGULATED PER CITY CODE
 - N- 1/2" VIGOR SERIES 5000 PRESSURE REGULATED PER CITY CODE
 - IRRIGATION WATER METER AND TAP SIZE AS NOTED ON THE PLAN
- OBJECTS ARE TO BE INSTALLED IN ACCORDANCE WITH THE CITY OF CHICAGO
 DEPARTMENT OF PUBLIC WORKS, DIVISION OF WATER AND SEWERAGE
 STANDARDS AND SPECIFICATIONS FOR WATER MAINS

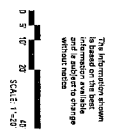
NOTE: POTABLE WATER METER TO BE CHANGED TO RE-USE METER LINE CONTACT SI ENVIRONMENTAL



T86

Sweeney Wetland Fill Line

T86
 11/21/2017
 11/21/2017
 11/21/2017



The information shown
 hereon is for the use of
 the client only and is not
 to be distributed to other
 parties without the written
 consent of the engineer.



HOUSTON LANDSCAPES UNLIMITED

14000 OLD RICHMOND ROAD

SUGAR LAND, TEXAS 77498

PHONE: (281) 568-7500

FAX: (281) 575-7900

Visit us at www.houstonlandscapes.com

Date: 9/14/2018 (REVISION 1)

TO: TBG PARTNERS

Tel: 713-439-0027

ATTN: JOHN SCHNURE

JOBSITE: RIVERSTONE - SWEENEY WETLAND FILL LINE

Scope

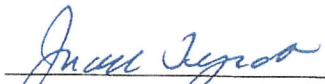
of Work: Install Auto Lake Fills Valve

IRRIGATION PROPOSAL:

QTY	UNIT	DESCRIPTION	UNIT PRICE	TOTAL PRICE
1	LS	Mobilization	\$500.00	\$500.00
1	LS	Connect to Existing P.O.C. / Main Line	\$450.00	\$450.00
1	EA	Auto Lake Fill Valve	\$425.00	\$425.00
190	LF	2" Sch 40 Line	\$3.50	\$665.00
1	EA	Hose Bib	\$225.00	\$225.00
1	LS	Connect to Existing Controller	\$475.00	\$475.00
		Subtotal		\$2,740.00
		Tax (Material Only)		\$90.42
		Total		\$2,830.42

ACCEPTANCE OF PROPOSAL

Bid prices reflect performing the work in its entirety. Should the project scope be decreased, HLU Services, Inc. reserves the right to adjust unit costs in subsequent revised proposals. The above prices, specifications and conditions are satisfactory and are hereby accepted. You are authorized to do the work as specified.


 Juan Tejada / HLU Services, Inc.

 **John Schnure**
 Authorized Signature / Printed Name

9/14/2018

Date

"Let Your Dreams GROW With Us"

RIVERSTONE - SWEENEY WETLAND FILL LINE - INSTALL MANUAL LAKE FILL VALVE PROPOSAL (REVISION 1)



YELLOWSTONE

L A N D S C A P E

Fort Bend L.I.D. 15

September 2018 Vegetation Report

Current Grass Stand

Below are recent pictures of the levee. The recent rains have helped the grass stand which looks really good at this time. The fall fertilization and over seeding of Rye grass will occur next month.



Steep Bank Creek

Below are recent pictures of Steep Bank Creek. We have recently mowed down the large groups of saplings near the flow line as discussed in the last meeting.



Alcorn Bayou

Below are recent pictures from Alcorn Bayou. We are continually picking up and downed trees/limbs along the bayou, as well as removing trees that have the potential to fall towards homeowners' properties.



Snake Slough

Below are recent pictures of Snake Slough. We will be performing a mowing cycle during the month of October.



Wetland Shelf Maintenance

Below are recent pictures of the wetlands. We are working on controlling invasive species and trash cleanup. We are also monitoring the detention park area and are aware of a fungus causing dieback in a large portion of the Bulrush. We have discussed with Berg Oliver and the plan right now is to leave the area alone until cooler weather gets here.





Levee Management Services, LLC

Fort Bend County LID #15

Monthly Report

September 25, 2018



Fort Bend County LID #15

Monthly Report

Summary:

Since the last meeting date LMS continues to make levee and outfall structure rounds. We are also making progress taking care of active issues and moving them to the archived tab on our website for board review. Listed below are some of the items we have been addressing.

Levee:

- Trash and debris cleared from district.
- Made several gate adjustments throughout the district.
- Hog damage on levee along oxbox and powerline easement.
- Completed 3rd quarter ant bait treatment.

Ditches/Detention:

- Trash and debris throughout all drainage facilities.
- Hog fencing project on hold until after district director tour.
- Staff gauges install completed.

Outfalls/Pump Station:

- Cleared flap gates of trash and debris after recent storms.
- Completed 3rd quarter gate PMs.
 - No issues found, gates have been exercised, inspected and regreased
- Upcoming generator PM to be completed in October.

Emergency Operations Discussion:



Fort Bend County LID No. 15
Engineer's Report
9/25/2018

Action Item List:

1. **Signal at Cabrera Drive and University Boulevard**
 - a. **No pay application this month.**
 - b. **County has provided a punch list that will include additional heads to the mast arms and additional sidewalk will be required to accommodate ADA pathways to the pedestrian poles. A change order will be forthcoming.**
2. **Bond Issue No. 14: Final draft of the Bond Application Report has been circulated to the consultants and to the developers for review. The current version is \$8.925M. It excludes the Clements Crossing area and the Lost Creek Pump Station. The current version is attached.**
3. **Wetlands Park Grading (Preparation for Planting)**
 - a. **Coordination between Berg Oliver and CI to inspect area and determine if the area is ready to receive plant material. Some minor re-grading work may be necessary. Planting would not occur until the fall.**
 - b. **Proposal from Crostex Construction, Inc. to perform directional bore for irrigation line under Alcorn Bayou. Proposal is for \$5,000.**
4. Snake Slough Pump Station (aka Hagerson Road Pump Station)
 - a. Design is complete and plans submitted for agency review.
 - b. Estimated Construction Cost = \$2,700,000 (FBCLID 15 100%)
5. **Detention Ponds for Hagerson Road Tract**
 - a. **Bids were taken this afternoon. Bid tab will be handed out in the meeting.**
6. Hagerson Road Interconnect between Snake Slough and Steep Bank Creek (Part of Hagerson Road WSD & Paving Project)
 - a. Design is complete and plans have been submitted to agencies for review.
 - b. Estimated Construction Cost (Storm Sewer Only) = \$1,029,000 (LID 15 Share: 38.2% = \$393,000)
7. University Boulevard Interconnect between Steep Bank Creek and Alcorn Bayou
 - a. Plans being reviewed by City of Sugar Land and pipeline company. County and FBDD approval received. Project is currently on hold.
 - b. Estimated Construction Cost = \$492,000 (LID 15 Share: 50% = \$246,000)
8. **Discuss FBCLID 15 purchase of supplemental mobile pumps (Gator Pumps).**
9. Add items to the agenda for next month: None.
10. Misc. Items :
 - a. **Dow pipeline crossing agreement for the interconnect between Alcorn Bayou and Steep Bank Creek is submitted for approval and signature.**
 - b. Approve consent to encroach, miscellaneous easements and accept deeds as necessary.

Presented by:
Chad E. Hablinski, P.E.
Costello, Inc.

W:\1998\98030\100\meetings\2018\September.docx

Crostex Construction, Inc.

INVOICE

Invoice #1018-20

TO: Fort Bend County LID No. 15
c/o Costello, Inc.
Attn.: Chad Hablinski
2107 CityWest Blvd, 3rd Floor
Houston, TX 77042

Project: Riverstone Directional Bore – Sugar Land, TX

Date: September 21, 2018

Description:

1. Install Approx. 220' of 2" SDR 9 by Bore \$5,000.00/ls \$ 5,000.00

Total Due This Invoice \$ 5,000.00

Thank You for Your Business!

Please remit to: Crostex Construction, Inc.

PO Box 1526 * Crosby, Texas 77532 * Phone (281) 328-3417